

# **Cultural Heritage Report: Existing Conditions and Preliminary Impact Assessment – Norval West Bypass Transportation Corridor Improvements**

Final Report

November 19, 2025

Prepared for:  
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**Cultural Heritage Report: Existing Conditions and Preliminary Impact Assessment – Norval West Bypass Transportation Corridor Improvements**  
**Limitations and Sign-off**  
November 19, 2025

## Limitations and Sign-off


The conclusions in the Report titled Cultural Heritage Report: Existing Conditions and Preliminary Impact Assessment – Norval West Bypass Transportation Corridor Improvements are Stantec’s professional opinion, as of the time of the Report, and concerning the scope described in the Report. The opinions in the document are based on conditions and information existing at the time the scope of work was conducted and do not take into account any subsequent changes. The Report relates solely to the specific project for which Stantec was retained and the stated purpose for which the Report was prepared. The Report is not to be used or relied on for any variation or extension of the project, or for any other project or purpose, and any unauthorized use or reliance is at the recipient’s own risk.

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## **Executive Summary**

Stantec Consulting Ltd. (Stantec) was retained by the Regional Municipality of Halton (Halton Region) to prepare a Cultural Heritage Report: Existing Conditions and Preliminary Impact Assessment (CHR) as part of the Norval West Bypass Transportation Corridor Improvements Municipal Class Environmental Assessment (MCEA) (the Project). The need for transportation network improvements for the Norval West Bypass from Highway 7 (Guelph Street) to 10 Side Road (Regional Road 10) has been identified in both the Halton-Peel Boundary Area Transportation Study (HPBATS) and Halton Region's Transportation Master Plan to 2031 – The Road to Change (HDR iTrans 2010/Halton Region 2011).

As part of the Project a CHR has been completed to identify heritage resources, including built heritage and cultural heritage landscapes, present within and adjacent to the Study Area. Potential heritage resources were identified, inventoried, and evaluated according to Ontario Regulation (O. Reg.) 9/06, the criteria for determining cultural heritage value or interest (CHVI) (Government of Ontario 2006a). Where CHVI was identified, the resource was mapped, and recommendations made for further study.

To identify protected properties, the Ministry of Citizenship and Multiculturalism (MCM), the Ontario Heritage Trust (OHT), and the Town of Halton Hills (the Town) were consulted. A total of 40 properties were identified by the Town as either listed or designated under the Ontario Heritage Act. A windshield survey was undertaken to identify potential built heritage resources (BHR) and cultural heritage landscapes (CHL) within, and adjacent to, the Study Area and confirm the presence of known heritage properties based on provincial and municipal data requests. Where identified, the potential BHR and CHL were photographed from the public right-of-way (RoW). A total of 33 known and potential heritage resources were identified within and adjacent to the Study Area. In each case, a summary evaluation of the CHVI of the property was undertaken according to O. Reg. 9/06. Each property was considered both as an





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individual resource and as a landscape. Following evaluation, 16 BHR and eight CHL were identified within or adjacent to the Study Area. Of these properties, 22 had been identified by the Town as a listed or designated.

Direct impacts were identified for CHL-2 (16469 Side Road 10) as the proposed road alignment extends through the property and may require removal of an outbuilding on the property identified as a potential heritage attribute. Therefore, it is recommended that a Heritage Impact Assessment be prepared as early as possible during detailed design to minimize impacts to the identified CHL.

Indirect impacts were identified for six known BHR or CHL situated within 50 metres of planned construction activities, and they are at risk for potential indirect, vibration-related impacts, including:

- BHR-7 (484 Highway 7)
- BHR-8 (482 Highway 7)
- BHR-9 (480 Highway 7)
- BHR-10 (473 Highway 7)
- CHL-6 (475 Highway 7)
- CHL-7 (479 Highway 7)

The preferred option is to avoid properties containing potential or known BHR or CHL by establishing a buffer zone around the resources within which construction activities should be avoided. avoid construction activity with 50 metres of the BHR or CHL. The preferred option should use appropriate preventative measures such as mapping on construction maps and temporary fencing. Staging and laydown areas should also be selected to be non-invasive and avoid known BHR or CHL. Where avoidance is not feasible, the alternative option should be applied.

The alternative option to mitigate this risk is for a qualified building condition specialist or engineer to develop a strategy to carry out condition surveys and vibration monitoring, where required. The pre-condition survey may include screening activities to identify critical properties and determine appropriate vibration levels based on building



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type, age, and condition. Vibration monitoring may consist of random confirmatory vibration monitoring at the most critical properties during pipeline installation. A post-condition survey should be carried out on an as-needed basis to be determined by the qualified building condition specialist or engineer.

The Executive Summary highlights key points from the report only; for complete information and findings, the reader should examine the complete report.



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Project Personnel**  
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**Appendix A Inventory of Cultural Heritage Resources**



## **Acronyms / Abbreviations**

BHR	Built Heritage Resource
CHL	Cultural Heritage Landscape
CHR	Cultural Heritage Report: Existing Conditions and Preliminary Impact Assessment
CHVI	Cultural Heritage Value or Interest
GTR	Grand Trunk Railway
HPBATS	Halton-Peel Boundary Area Transportation Study
m	metres
MCEA	Municipal Class Environmental Assessment
MCM	Ministry of Citizenship and Multiculturalism
OHA	Ontario Heritage Act
OHT	Ontario Heritage Trust
O. Reg.	Ontario Regulation
PPS	Provincial Planning Statement
RoW	Right-of-Way



# **Cultural Heritage Report: Existing Conditions and Preliminary Impact Assessment – Norval West Bypass Transportation Corridor Improvements**

## **1 Introduction**

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# **1 Introduction**

## **1.1 Study Purpose and Objectives**

As part of the Norval West Bypass Transportation Corridor Improvements Municipal Class Environmental Assessment (MCEA) (the Project), a Cultural Heritage Report: Existing Conditions and Preliminary Impact Assessment (CHR) has been completed to identify heritage resources, including built heritage resources (BHR) and cultural heritage landscapes (CHL), present within and adjacent to the Study Area. The Study Area is situated on the southwest side of the community of Norval, within the Town of Halton Hills (the Town), in the Regional Municipality of Halton (Halton Region) (Figure 1). The Study Area is bounded to the northeast by Highway 7 (Guelph Street), to the east by Winston Churchill Boulevard (Regional Road 19), to the south by 10 Side Road (Regional Road 10), and to the west by the Tenth Line (Figure 1 and Figure 2).

The purpose of the Project is to determine the preferred approach to transportation network improvements for the Norval West Bypass from Highway 7 (Guelph Street) to 10 Side Road (Regional Road 10). The need for greater connectivity and mobility in the southeast quadrant of the Town was identified in both the Halton-Peel Boundary Area Transportation Study (HPBATS) and Halton Region's Transportation Master Plan to 2031 – The Road to Change (HDR iTrans 2010/ Halton Region 2011).

As part of the CHR, potential BHR and CHL were identified, inventoried, and evaluated according to Ontario Regulation (O. Reg.) 9/06, the criteria for determining cultural heritage value or interest (CHVI) (Government of Ontario 2006a). A land use history was completed to provide a cultural context for the Study Area and historical background upon which to base evaluations. Where CHVI was identified, the resource was mapped and recommendations made for further study. The objectives of the CHR are summarized below:





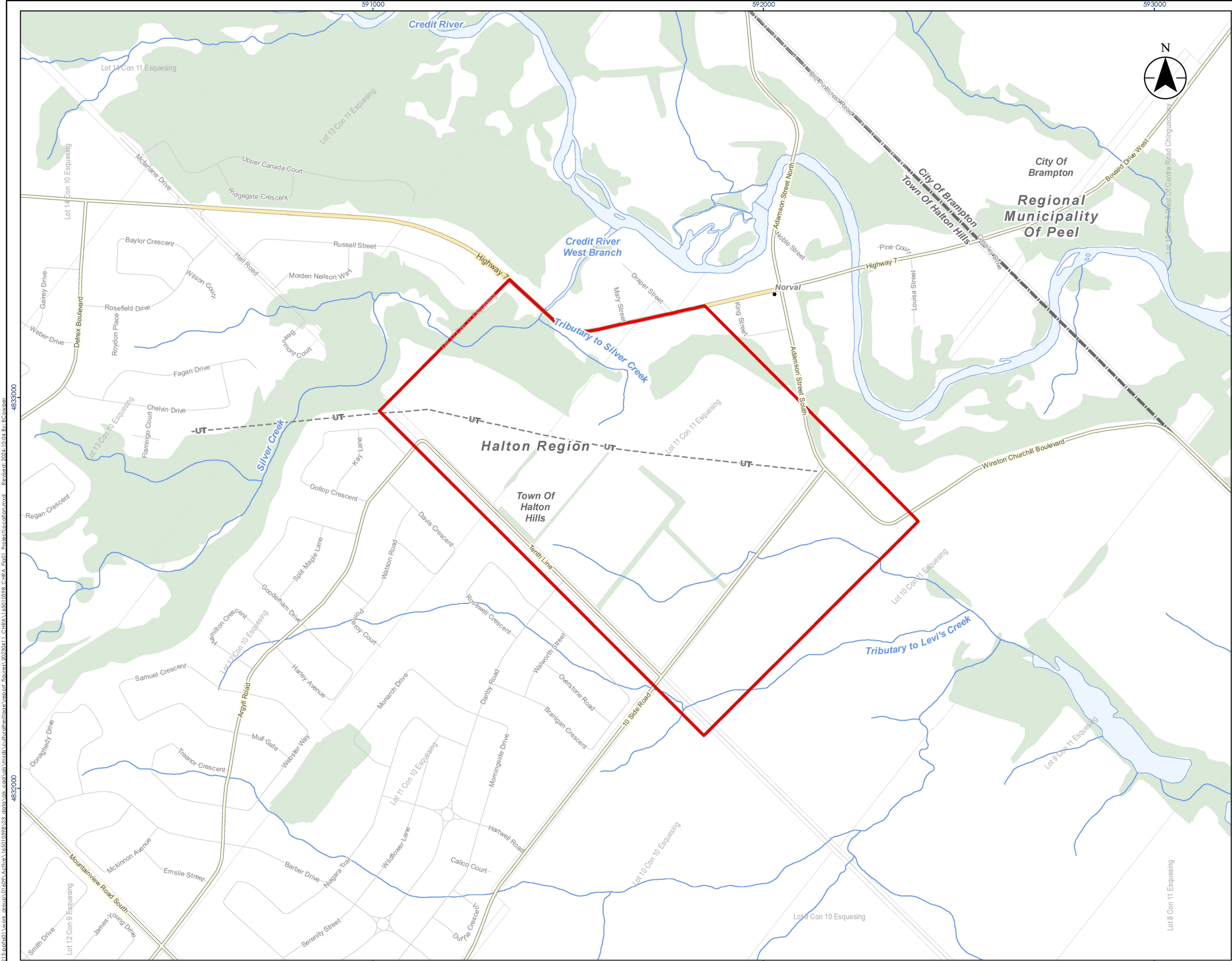
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## **1 Introduction**

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- Prepare a land use history of the Study Area for use in the identification and evaluation of heritage resources,
- Identify potential BHR and CHL within the Study Area through a windshield survey from the public right-of-way (RoW),
- Evaluate the CHVI of the BHR and CHL to determine the number of heritage resources present, and
- Prepare recommendations for future work where heritage resources were identified.

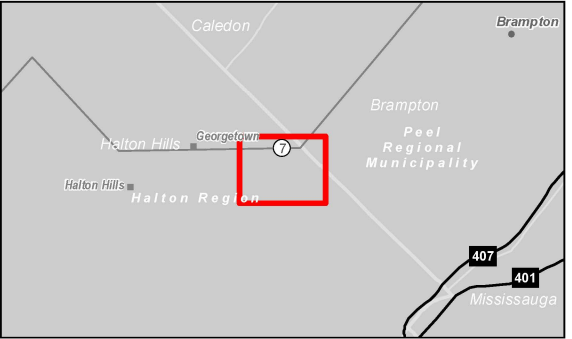




- Legend
- Study Area
  - Unknown Transmission Line
  - Watercourse (Permanent)
  - Waterbody
  - Wooded Area
  - Lot
  - Municipal Boundary, Upper
  - Municipal Boundary, Lower



- Notes
- Coordinate System: NAD 1983 UTM Zone 17N
  - Base features produced under license with the Ontario Ministry of Natural Resources and Forestry © Queen's Printer for Ontario, 2019.



Project Location  
Municipality of Halton, ON

165010598 REV4  
Prepared by BCC on 2024-10-04

Client/Project  
REGIONAL MUNICIPALITY OF HALTON  
NORVAL ROAD WEST BYPASS TRANSPORTATION CORRIDOR  
CULTURAL HERITAGE RESOURCE ASSESSMENT

Figure No.  
**1**

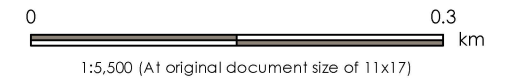
Title  
**Project Location**





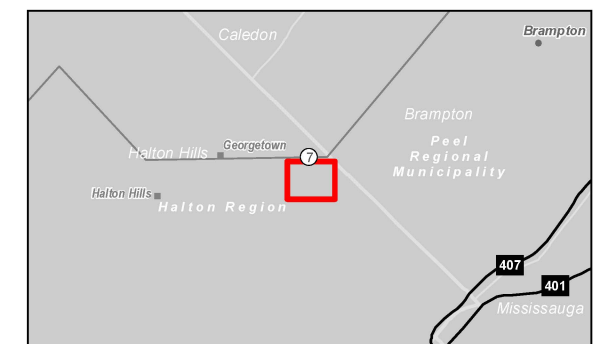
Legend

- Study Area
- Property Boundary
- Watercourse (Permanent)
- Waterbody



Notes

1. Coordinate System: NAD 1983 UTM Zone 17N
2. Base features produced under license with the Ontario Ministry of Natural Resources and Forestry © Queen's Printer for Ontario, 2020.
3. Orthoimagery © First Base Solutions, 2020, imagery date 2019.



Project Location  
Municipality of  
Halton, ON

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Prepared by BCC on 2024-10-04

Client/Project  
REGIONAL MUNICIPALITY OF HALTON  
NORVAL ROAD WEST BYPASS TRANSPORTATION CORRIDOR  
CULTURAL HERITAGE RESOURCE ASSESSMENT

Figure No.

**2**

Title

**Study Area**



## **2 Methodology**

### **2.1 Requirements**

The requirement to consider cultural heritage in Municipal Class EAs is discussed in the Municipal Class Environmental Assessment Manual (MCEA Manual) and the 2024 Provincial Planning Statement (PPS) (Municipal Engineers Association 2015 and Government of Ontario 2020). The MCEA Manual considers cultural heritage, including built heritage resources and cultural heritage landscapes as well as archaeological resources, as one in a series of environmental factors to be considered when undertaking an MCEA, particularly when describing existing and future conditions, development alternatives, and determination of the preferred alternative.

The MCEA Manual further suggests that cultural heritage resources that retain heritage attributes should be identified early in the EA process and avoided where possible.

Where avoidance is not possible, potential effects to these attributes should be identified and minimized. Adverse impacts should be mitigated according to provincial and municipal guidelines. It is suggested that this happen early in the process so that potential impacts to significant features can be included in an understanding of project impacts and plans established to mitigate these impacts.

In addition to requirements outlined in the MCEA Manual, provisions made under the PPS were also considered in the preparation of the study. Section 4.6 of the PPS addresses cultural heritage in the land use planning process and as such was considered. The applicable provisions include:

4.6.1 Protected heritage property, which may contain built heritage resources or cultural heritage landscapes, shall be conserved.

4.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property unless the heritage attributes of the protected property will be conserved.

(Government of Ontario 2024)



## **2.2 Background History**

To familiarize the study team with the Study Area, local historical resources were consulted, archival documents were reviewed, and a summary of the historical background of the local area was prepared. Specifically, historical mapping from 1858, 1877, 1909, 1915, 1918, 1922, 1929, 1931, 1933, 1938, 1942, 1963, and 1973 was consulted to identify the presence of structures, settlements, and other potential heritage resources in advance of the field program.

## **2.3 Municipal and Agency Consultation**

Listings of provincially and locally designated properties, districts, and easements for each municipality were collected from the Ontario Heritage Trust (OHT), the Ministry of Citizenship and Multiculturalism (MCM), and the Town. Consultation with these interested agencies and municipality within which the Project is proposed was undertaken to determine the presence of designated, listed, or registered heritage properties within the Study Area.

Recognition of protected properties varies greatly and is dependent on the level of CHVI identified or, in some cases, the level of investigation undertaken. For the purpose of this study, any property identified by municipal staff or provincial agencies as containing, or having the potential to contain, CHVI was determined to be a protected property.

## **2.4 Field Program**

A vehicular windshield survey was conducted on December 10, 2019, by Laura Walter, Cultural Heritage Specialist from the public RoW. At this time, the Study Area was surveyed for known and potential heritage resources, including both BHR and CHL. Where identified, these were photographed, and their locations recorded. Characteristics of each potential heritage resource were noted while in the field and recorded.



In general, heritage resources of more than 40 years of age were evaluated during the survey for their potential to satisfy O. Reg. 9/06 criteria. The use of the 40-year threshold is generally accepted by both the federal and provincial authorities as a preliminary screening measure for CHVI. This practice does not imply that all properties more than 40 years of age are inherently of significant heritage value, nor does it exclude exceptional examples constructed within the past 40 years of being of cultural heritage value.

## **2.5 Evaluation of Cultural Heritage Value or Interest**

The criteria for determining CHVI is defined by O. Reg. 9/06. Each potential heritage resource was considered both as an individual structure and as cultural landscape. Where CHVI was identified, a structure or landscape was assigned a cultural heritage resource (CHR) number, and the property was determined to contain a heritage resource. Evaluations for each property are contained in Appendix A.

### **2.5.1 Ontario Regulation 9.06 (Amended by O. Reg. 569/22)**

To identify CHVI at least one or more of the following criteria must be met:

1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.

5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.
9. The property has contextual value because it is a landmark.

(Government of Ontario 2006a)

## **2.6 Assessment of Impacts**

Where a component of a known or potential built heritage resource or cultural heritage landscape was situated within the Study Area, the impacts of the proposed undertaking were evaluated. The impacts, both direct and indirect, are evaluated according to InfoSheet #5.

Seven potential negative effects have been identified (Government of Ontario 2006b), including:

1. **Destruction** of any, or part of any, significant heritage attributes or features
2. **Alteration** that is not sympathetic, or is incompatible, with the historic fabric and appearance
3. **Shadows** created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden
4. **Isolation** of a heritage attribute from its surrounding environment, context, or a significant relationship



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5. **Direct or indirect obstruction** of significant views or vistas within, from, or of built and natural features
6. **A change in land use** such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces
7. **Land disturbances** such as a change in grade that alters soils and drainage patterns that adversely affect an archaeological resource

In addition to direct effects related to destruction, the potential for indirect effects resulting from vibration due to construction and operation activities and the transportation of Project components and personnel were also evaluated. Although the existing effect of traffic and construction vibrations on historic period structures is not fully known, negative effects have been demonstrated on buildings with a setback of less than 40 metres (m) from the curbside (Crispino and D'Apuzzo 2001; Ellis 1987; Rainer 1982; Wiss 1981). The proximity of Project components to built heritage resources and cultural heritage landscapes was considered in this assessment, particularly those within 50 m, in order to encompass a wide enough buffer zone to account for built resources less than 40 metres from curbside or potential Project activities. The 50 m buffer represents a conservative approach to effects identification.

Indirect impacts resulting from land disturbances apply to archaeological resources, which are beyond the scope of this assessment. An Archaeological Assessment has been prepared under separate cover which addresses the archaeological potential of the Study Area and includes recommendations for further work (Stantec. 2020). No further consideration to archaeological resources is provided in this report.





## **3 Existing Conditions**

### **3.1 Background and Historical Research**

#### **3.1.1 Introduction**

The Study Area is located in the community of Norval, in the Town of Halton Hills, within the Regional Municipality of Halton. Halton Region is on the Treaty Lands of the Mississaugas of the Credit First Nation as well as the Traditional Territory of the Haudenosaunee, Huron-Wendat, and Anishinabek (Halton Region 2023). The Study Area is bounded to the northeast by Highway 7 (Guelph Street), to the east by Winston Churchill Boulevard (Regional Road 19), to the south by 10 Side Road (Regional Road 10), and to the west by the Tenth Line. The Study Area spans the following historical lots and concessions of the former Township of Esquesing, in former Halton County:

- Lots 10 to 12, Concession 10
- Lots 10 to 12, Concession 11

The following sections outline the historical development of the Study Area from the time of Post-Contact in the 17<sup>th</sup> century up to the 21<sup>st</sup> century.

#### **3.1.2 Physiography**

The Study Area is located in the Peel Plain and South Slope physiographic regions of southern Ontario (Chapman and Putnam 1984: 113). The Peel Plain region is a tract of level to undulating clay soils, stretching across the Regional Municipalities of York, Peel, and Halton. The general elevation of the region is 152 to 229 m above sea level. The underlying geological material is a till containing large amounts of shale and limestone. The water supply in the region has historically been a constraint to settlement due to the density of the till and the lack of thick beds of sand to serve as aquifers, combined with the high degree of evaporated water from the deforested clay surface (Chapman and Putnam 1984: 174-175).



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The South Slope is the southern slope of the Oak Ridges Moraine. The region extends from the Niagara Escarpment east to the Trent River covering approximately 2,435 square kilometres. The region rises to the line of contact with the Oak Ridges Moraine from 244 to 305 m above sea level (Chapman and Putnam 1984: 172). The South Slope contains a variety of soils that have been beneficial for agricultural use. The soils are developed upon tills which are composed largely of clay (Chapman and Putnam 1984: 173).

The Study Area is situated within the Credit River Watershed. The Credit River extends from its headwaters in Orangeville and flows southeast to Lake Ontario, with its watershed covering an area of 950 square kilometres (Credit Valley Conservation 2017). The Study Area is specifically within the Norval to Port Credit Subwatershed (Credit Valley Conservation 2009). The community of Norval is at the confluence of the Credit River and Silver Creek. The Study Area is crossed in the northeast corner by Silver Creek. The confluences of primary water sources are frequently the focus of human settlement and activity. The Credit River was a major focus of both Indigenous and Euro-Canadian transportation and settlement in the past. In addition, an intermittent tributary of Levi Creek, which drains into the Credit River, crosses the southern portion of the Study Area, and other ancient or relic watercourses may have been present in the past but are no longer visible today (Stantec 2020).

### **3.1.3 Post-Contact Indigenous Resources**

“Contact” is typically used as a chronological benchmark in discussing Indigenous archaeology in Canada and describes the contact between Indigenous and European cultures. The precise moment of contact is a constant matter of discussion. Contact in what is now the province of Ontario is broadly assigned to the 16<sup>th</sup> century (Loewen and Chapdelaine 2016).



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The post-contact Indigenous occupation of southern Ontario was heavily influenced by the dispersal of various Iroquoian-speaking communities by the New York State Iroquois and the subsequent arrival of Algonkian speaking groups from northern Ontario at the end of the 17<sup>th</sup> century and the beginning of the 18<sup>th</sup> century (Konrad 1981; Schmalz 1991). Broadly, numerous Indigenous groups and communities are associated with the post-contact occupation of southern Ontario and the general area of the Project.

At the turn of the 17<sup>th</sup> century, the region of the Study Area was occupied by Iroquoian populations who are historically described as the Neutre Nations (by the French) or the Attiwandaron (by the Huron-Wendat); their autonym is not conclusively known (Birch 2015). To the north was territory occupied by the Wendat-Tionantaté (Huron-Wendat) (Heidenreich 1978). The Five Nations Iroquois, located in present-day upstate New York, failed in an attempt to convince the Wendat-Tionantaté to join them in an alliance (Warrick 2013). In 1649, the Seneca and the Mohawk led a campaign into southern Ontario and dispersed the Attiwandaron (Neutral) Nations and the Wendat-Tionantaté and established dominance over the region (Heidenreich 1978; Konrad 1981).

In 1667, surviving Huron Wendat warriors joined alliance with the French-allied Ojibwa and Mississaugas to counterattack the Iroquois who had settled along the north shore of Lake Ontario. By 1690, Ojibwa (Anishinaabe) speaking people had begun moving south into the lower Great Lakes basin (Konrad 1981; Rogers 1978). Mississauga oral traditions, as told by Chief Robert Paudash and recorded in 1905, indicate that after the Mississauga defeat of the Mohawk Nation the Mohawk retreated to their homeland south of Lake Ontario and a peace treaty was negotiated between those groups around 1695 (Paudash 1905). Upon the Mississaugas' return they decided to settle permanently in southern Ontario. In southwestern Ontario, however, members of the Three Fires Confederacy (Chippewa, Ottawa and Potawatomi) were immigrating from Ohio and Michigan in the late 1700s (Feest and Feest 1978). Thus, numerous Indigenous groups are associated with the post-contact occupation of southern Ontario.



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The Mississaugas settled and inhabited a large area at the western end of Lake Ontario throughout the 1700s and into the 1800s. Between 1695 and the mid-1820s the Mississaugas continued to follow a yearly cycle of resource harvest and movement throughout their southern Ontario territory (Praxis Research Associates n.d.). With the end of the American Revolutionary War in 1783, the Six Nations Iroquois returned to southern Ontario, when approximately 2,000 Iroquois were given land by the British for their loyalty during the war and to compensate for the land they had lost in their traditional homeland. The largest group settled in the Grand River valley near Brantford, Ontario, to become the Six Nations of the Grand River. The Indigenous economy from the turn of the 18<sup>th</sup> century focused on fishing and the fur trade, supplemented by agriculture and hunting.

The expansion of the fur trade led to increased interaction between European and Indigenous people, and ultimately intermarriage between European men and Indigenous women. During the 18<sup>th</sup> century the progeny of these marriages began to no longer identify with either their paternal or maternal cultures, but instead as Métis. The ethnogenesis of the Métis progressed with the establishment of distinct Métis communities along the major waterways in the Great Lakes of Ontario. Métis communities were primarily focused around the upper Great Lakes and along Georgian Bay; however, Métis people have historically lived throughout Ontario (Métis Nation of Ontario 2023; Stone and Chaput 1978: 607-608).

The Study Area falls within the historic and traditional territory of a number of Indigenous communities, including but not limited to the Mississaugas of the Credit First Nation (Wybenga and Dalton 2018), the Six Nations of the Grand River, the Haudenosaunee Confederacy, and the Huron-Wendat Nation. Since contact with European explorers and immigrants, and, later, with the establishment of provincial and federal governments (the Crown), the lands within Ontario and the former Township of Esquesing have been included in various treaties, land claims, and land cessions. Though not an exhaustive list, Morris (1943) provides a general outline of some of the



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treaties within the Province of Ontario from 1783 to 1923. The Study Area is situated within the described limits of Treaty 19, also known as the Ajetance Purchase. Treaty 19 encompasses approximately 6,500 square kilometres of land, delimited as:

A tract of land in the Home District called the Mississa[uga] Tract, bounded southerly by the purchase made in 1806; on the east by the Townships of Etobicoke, Vaughan and King; on the south west by the Indian Purchase, extending from the outlet of Burlington Bay, north forty-five degrees west, fifty miles; and from thence north seventy-four degrees east or thereabouts, to the north west angle of the Township of King.

(Morris 1943: 24)

Treaty 19 was signed on October 29, 1818, between the Principal Chiefs of the Mississauga Nation and William Claus, Deputy Superintendent General and Deputy Inspector General of Indians and their Affairs representing the Crown (Morris 1943). It was named after Chief Ajetance of the Mississaugas, one of the signatories. According to the Mississaugas of the Credit First Nation history:

The continuous inflow of settlers into their lands and fisheries had weakened the Mississaugas' traditional economy and had left them in a state of impoverishment and a rapidly declining population. In their enfeebled state, Chief Ajetance, on behalf of the assembled people, readily agreed to the sale of their lands for £522.10 of goods paid annually.

(Mississaugas of the Credit First Nation 2020)

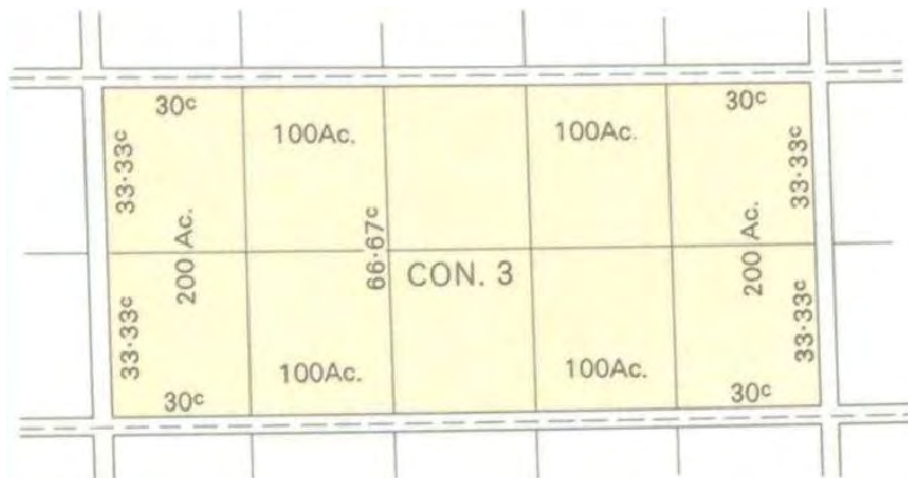


### **3.1.4 Survey and Settlement**

#### **3.1.4.1 Township of Esquesing**

The Township of Esquesing was surveyed in 1818 by Charles Kennedy and Richard Bristol, into 11 concessions, running west to east and each containing 32 lots (Widdis 1982: 451). The survey for the township was based on a double-front system technique that divided the land into ten equal lots surrounded by roads (Plate 1). A block of land was set aside in the southwest corner of township, within the Study Area, known as the Scottish Block for a group of new immigrants from Perthshire, Scotland. The block was granted by the Upper Canada government following a petition in 1819 from John and James Stewart (McDonald 2011: 222).

**Plate 1 Double-Front Survey System (Dean 1969)**



Settlers began arriving to the township in 1819, with the majority originating from the British Isles. Early settlers included James Hume, Ronald McDonald, John McPherson, John McColl, Joseph Standish, John Reed, Samuel Watkins, William Nickell, James Frazer, John Stewart, Duncan Stewart, James Laidlaw, James Dobbie, Abram, Nelson, James Campbell, Thomas Barbour, George and Morris Kennedy, Alexander Robertson, and Jacob and William Swackhammer. Settlements in the township developed along the waterways that provided the waterpower for mills and transportation routes prior to

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the development of roads. These settlements included Acton, Georgetown, Glen Williams, Limehouse, and Norval (Pope 1877).

**3.1.4.2 Community of Norval**

The community of Norval developed around a mill site established by the McNab family. John McNab and his sons, James and Alexander, settled in the Township of Esquesing in the late 1820s. The family was of Scottish descent and had initially settled in Vermont prior to their arrival in Upper Canada. James McNab served in the War of 1812 and was involved in the Battle of Queenston Heights. Following the war, James McNab promoted emigration of Scottish families residing in the United States to settle in the Scottish Block in Esquesing (Cannon et al. 1995). James McNab dammed the Credit River in 1827 and built a frame grist mill the following year (McDonald 1975).

**3.1.5 19<sup>th</sup> Century Land Use**

**3.1.5.1 Township of Esquesing**

The first township meeting for the Township of Esquesing was held on January 1, 1821, at the house of Joseph Standish. Subsequent council meetings were held at Thomas Thompson's tavern on the 7<sup>th</sup> Line. The population in 1821 was 424 (Pope 1877).

Transportation networks were spurred through the township with the construction of York Road (now Highway 7) in 1832, between York and Guelph. In 1846, the Trafalgar, Esquesing and Erin Road Company was formed to construct a plank road from Oakville to Fergus. The roadway was constructed in 1850 as an extension of Trafalgar Road with toll gates installed every few kilometres (Oakville Historical Society n.d). Villages developed at the intersections of the Trafalgar Road, including Hornby, Ashgrove, Stewarttown, and Ballinafad.

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By 1846, 57,347-acres in the Township of Esquesing had been taken up with 19,622 acres under cultivation. By this time, the township had four grist mills and 11 sawmills (Smith 1846: 56). The largest village in the township at the time was Stewarttown, which also served as the capital of the township and held council meetings from 1850 until 1963 (McDonald 1996: 4).

The arrival of the railway provided stimulus for the Villages of Acton, Limehouse, and Georgetown. In 1856, the Toronto and Guelph Railway, a branch of the Grand Trunk Railway (GTR) opened through the township with stations in each of the three communities (McDonald 2011: 87). Georgetown became a railway centre in the township, with the construction of a station for the Hamilton and Northwestern Railway line through the Study Area in 1877. The railway led to the development of numerous industries including the Georgetown Carriage Factory, Boot and Shoe Manufactory, Franz and Pope Knitting Machine Manufacturing Company, and Georgetown Envelope Company (Pope 1877).

### **3.1.5.2 Community of Norval**

The community that developed around McNab's mill was initially known as McNabsville (Quaile 2006: 23). In the late 1820s, James McNab encouraged tradesmen to settle in the community, including blacksmiths, carpenters and coopers (Quaile 2006: 24). An early wagon road ran through the community in 1827 (Quaile 2006: 85). In 1836, with the establishment of a post office, the community became known as Norval. The name 'Norval' has two possible origins. The first is that it was taken from Norval Creek in Vermont, where many of the area's early settlers originated (Ruggle 1973: 17). The second is that it relates to Alexander McNab's sheep run, which he called Grampian Hill, from the play Douglas, which includes the character Norval (Ruggle 1973: 17). Norval's post office was the second one established in the Township of Esquesing and its first postmaster was Colonel William Clay, who served in the position for 49 years (Quaile 2006: 82). By 1846, Norval had a population of about 200 (Smith 1846: 131).





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In 1851, the Guelph Plank Road was completed through the community, influencing the development of businesses including hotels for lodgers along the roadway (Quaile 2006: 85). Tremaine's Map of the County of Halton shows the layout of the community of Norval in 1858 within Lots 11 and 12, Concession 1 (Figure 3). The map shows the GTR line to the northeast where a depot was located. When the GTR was constructed, Norval was not selected as a host for a station as landowners were reportedly asking too much for the rail RoW (Quaile 2006: 24).

The mill site changed hands multiple times between 1830 and the mid-1860s, from John Barnhart, to Honourable Peter Adamson, and to Gooderham and Worts. In 1868, the mill was purchased by Robert Noble from the Bank of Ontario, which controlled the property at the time (McDonald 1975). Noble restored the mill's industrial prominence in the community. The GTR served as a shipping point for Noble Flour which was mainly sold throughout Quebec, the eastern provinces of Canada, England, and Scotland (McDonald 1975). By 1870, the community included three churches, an Orange Hall, two hotels, a carriage and wagon works, two blacksmiths, and a boot and shoe manufacturer (Sutherland 1868: 28). The 1877 map of the Township of Esquesing in the Illustrated Historical Atlas of Halton, depicts the growth of Norval into Lots 10, 13, and 14, of Concession 11 (Figure 3).

The mill site prospered in the late 1870s. The grist mill produced 200 barrels of flour a day, the cooper shop 200-250 barrels a day, and the sawmill produced 200,000 feet of lumber (Ruggle 1973: 16). In 1880, the mill was torn down and replaced with a stone and brick structure and several detached buildings (Quaile 2006: 86). The prosperity of the mill and the growth of Norval is evident in the County of Halton Gazetteer and Directory for the Years 1881-1885, as in 1880, Norval had a population of about 400. The community included two hotels, a merchant, a saddler, a broom maker, blacksmiths, a harness maker, shoemakers, a pork packer, a cooper, carpenters, a wagon maker, and a grocer (Irwin 1880: 92). Norval's population remained stable in the



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late 19<sup>th</sup> century, with a population in 1888 of about 410 and in 1895 of about 400 (Union Publishing Co. 1888: A 154; Union Publishing Co. 1895: 90).

### **3.1.6 20<sup>th</sup> Century Land Use**

The 20<sup>th</sup> century brought changes to the Township of Esquesing, with small industries unable to compete against larger manufactories in towns. Young men left farms to find work in towns and cities where these large industries had been established. This included lands south of the Study Area which contained the Milton Brick Works and the P.L. Robertson Screw Company. Elsewhere in the township, the land use remained largely agricultural for the early part of the century. Until 1940, the majority of land in Halton County was used for agriculture with the average farm being 100 acres in size (Chapman and Putnam 1976: 176). By the mid-20<sup>th</sup> century, the development of major and international manufacturing companies across Halton Region accompanied widespread transportation advancements such as construction of Highway 401 in the late 1950s. These developments ushered in a new wave of economic growth across the township and county (McDonald 1996: 4).

On January 1, 1974, the Township of Esquesing was integrated within the Regional Municipality of Halton. Included within the municipality is the City of Burlington and the towns of Halton Hills, Milton, and Oakville. The Study Area was amalgamated as part of the Town of Milton. The population of Halton Region grew quickly following the amalgamation, from 190,200 in 1971 to 271,400 in 1981, and 313,000 in 1991 (McDonald 2011 92). Halton remains a prosperous and growing region expanding from a population of 375,229 in 2001 to 439,256 in 2006 and 548,435 in 2016 (Statistics Canada, 2017).



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**3.1.6.1 Community of Norval**

Norval remained a small rural community into the 20<sup>th</sup> century, with a population in 1906 of roughly 400. The community included a hardware store, a post office and general store, two blacksmiths, two harness makers, two shoemakers, a broom maker, an agricultural implement maker, a butcher, an apiarist, a flour and grist mill, a hotel, a baker, and a physician (Plate 2 and Plate 3) (Union Publishing Co. 1906: 316).

Influenced by the development of the mill, a branch of the Farmers Bank was established in Norval in 1907 (Plate 4) (McDonald 1975). The small community is depicted on the 1909 Topographic Map of Brampton, Ontario (Figure 4). On the north side of the Credit River, Upper Canada College purchased land from Robert Noble in 1913 for an outdoor school (Plate 5). With the outbreak of the First World War, plans and construction for a school stalled until the 1930s (Upper Canada College 2018).

In 1917, accessibility to and from Norval increased with the opening of the Toronto-Guelph radial rail line. The 74-kilometre standard gauge railway line ran from Lambton Mills in Toronto to Guelph, with a stop in Norval at the present-day intersection of Adamson Street South and Winston Churchill Boulevard (Quaile 2006: 85). A line from the mill connected to the railway line and was used to ship flour. The radial railway line and its branch line to the mill is depicted on the 1918 Topographic Map (Figure 4). In 1920, Guelph Street through Norval was designated as Highway 7, a provincial highway under the Department of Highways Ontario (Bervers 2019).

In 1919, the Noble Flour Mill was sold to W.J. Campbell Ltd., but within four years W.B. Browne and Co. of Toronto acquired the property through the Bank of Nova Scotia, which had taken possession of the mill from Campbell. Part of the mill burned in January 1930 but remained in operation until 1952 (McDonald 1975).

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Excitement came to the community in 1926 when famed author Lucy Maud Montgomery moved to Norval. Montgomery's husband Reverend Ewan Macdonald was appointed Minister at the Norval and Union Presbyterian Churches. The couple moved into the Norval Presbyterian Manse at 402 Draper Street. Montgomery wrote about the beauty of Norval:

“Norval is so beautiful now that it takes my breath. Those pine hills full of shadows – those river reaches – those bluffs of maple and smooth-trunked beech – with drifts of wild white blossom everywhere. I love Norval as I have never loved any place save Cavendish. It is as I had known it all my life – as if I had dreamed young dreams under those pines and walked with my first love down that long perfumed hill.”

(Rowe 2017: 4)

Montgomery was actively involved in the community. She also wrote five novels while living in Norval. In 1935, Reverend Macdonald resigned, and the couple moved to Toronto (Rowe 2017: 5). The Norval Presbyterian Manse was purchased in 2017 by the Heritage Foundation of Halton Hills to serve as a heritage site to celebrate the life, the writing, and cultural impact of Lucy Maud Montgomery (Egan 2018: 25).

In the late 1990s, portions of Highway 7 were downloaded or transferred to municipalities served by the highway. A 63-kilometre stretch from Norval to Donald Cousens Parkway in Markham was turned over the Regional Municipalities of Peel and York (Bever 2019). Norval remains a small residential and commercial hamlet within the Town of Halton Hills.



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**Plate 2          Hollywood Hotel and Flour Mill, ca. 1900 (Source: Esquesing Historical Society n.d.)**



**Plate 3          Hollywood Hotel looking west on Guelph Street 1912 (Source: Esquesing Historical Society 1912)**



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**Plate 4          Farmer's Bank of Canada 1907-1910 (Source: Hunter 1907-1910)**



**Plate 5          Norval from Russell's Hill of Pines, 1920 (Source: Esquesing  
Historical Society 1920)**



### **3.1.7          Site History**

#### **3.1.7.1          East Half, Lot 10, Concession 10**

Lot 10, Concession 10 in the former Township of Esquesing was a 200-acre parcel granted from the Crown in two separate patents in 1821. The west half was granted to Thomas Carfrae senior, and the east-half was granted to Thomas Carfrae junior (Ontario Land Registry Access (Onland) 2019a).

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By 1858, as depicted on the Tremaine's Map of the County of Halton, the east half was owned by James Nixon (Figure 3). No structures are depicted on the property. Nixon (age 55) is listed in the 1861 Census in the Township of Esquesing as a farmer along with his wife Jane (age 50), and their children Eliza (age 20), William (age 18), Charles (age 16), and Richard (age 10). The family is listed as living in a one storey log residence (Library and Archives Canada 1861). In 1863, the property passed to Nixon's son James Nixon Junior (Onland 2019a). James Nixon is listed on the property in the 1877 Illustrated Historical Atlas of Halton with two structures and orchards (Figure 3).

**3.1.7.2 East Half, Lot 11, Concession 10**

Lot 11, Concession 11 in the former Township of Esquesing was a 200-acre parcel granted from the Crown in two separate patents in the early 19<sup>th</sup> century. In 1822, the east half was granted to Matthew Treaner and in 1829 the west half was granted to John Reed. Treaner sold the east half of the property in 1822 to Alexander McNab (Onland 2019a).

McNab's son Harvey is listed on the property in 1858 on Tremaine's Map of the County of Halton (Figure 3). No structure is depicted on the property. Alexander McNab is listed on the property in the 1877 Illustrated Historical Atlas of Halton (Figure 3). The map depicts a structure and orchards at the south end of the property fronting the roadway.

**3.1.7.3 East Half, Lot 12, Concession 10**

Lot 12, Concession 10 in the former Township of Esquesing was granted as a patent in 1830 to Jane Smith (Onland 2019a). Jane married George Hamilton, who is listed on the property in 1858 on Tremaine's Map of the County of Halton (Figure 3). No structure is depicted on the property. George Hamilton (age 57) is listed in the 1861 Census in the Township of Esquesing as a farmer along with his wife Jane (age 48), and their children Jane (age 19), Isabella (age 16), Mary (age 13), Janet (age 11), and George (age 10). The family is listed as living in a one- and one-half storey frame residence (Library and Archives Canada 1861). Ten years later, George Hamilton (age 67) is



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listed on the 1871 Census in the Township of Esquesing as a widowed farmer along with his children George (age 19), Mary (age 23), and Janet (age 22) (Library and Archives Canada 1871). Hamilton is listed on the property in the 1877 Illustrated Historical Atlas of Halton with a structure and orchard on the east half fronting the roadway (Figure 3).

**3.1.7.4 Lot 10, Concession 11**

Lot 10, Concession 11 in the former Township of Esquesing was a 200-acre parcel granted in three separate patents from the Crown in 1847. The south half was granted to William Clay, the northwest half and most of the northeast quarter, comprising 94-acres, was granted to Jennet Denny, and the small remaining portion of the northeast quarter, comprising 6-acres, was granted to William Johnston (Onland 2019b).

Denny's north portion of the property was sold in separate parcels between 1848 and 1865 to Frederick White, James Curry, and Alexander Adams (Onland 2019b). A Thomas Denny is listed on the northeast quarter of the property in 1858 on Tremaine's Map of the County of Halton (Figure 3). The 1877 map of the Township of Esquesing in the Illustrated Historical Atlas of Halton shows the northeast portion taken up as part of Norval Village (Figure 3). A structure, an orchard, and a portion of the Norval Village are depicted on the northwest half.

By 1850, the south half had been sold to Thomas Forster (Onland 2019b). Foster is listed on the property in 1858 on Tremaine's Map of the County of Halton (Figure 3). Forster is listed as a freeholder on the property in the County of Halton Gazetteer and Directory for 1869-1870 (Sutherland 1868: 46). Forster (age 45) is listed in the 1871 Census in the Township of Esquesing as a farmer along with his wife Martha (age 48), and their son John (age 20) (Library and Archives Canada 1871). In 1872, Forster sold a small portion of the southeast quarter to James Curry. The remaining property was sold in 1875 in two separate parcels to Robert Noble and Francis Hunter (Onland



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2019b). The 1877 map of the Township of Esquesing in the Illustrated Historical Atlas of Halton depicts Hunter on the southwest half and Noble on the southeast half (Figure 3).

**3.1.7.5 Lot 11, Concession 11**

Lot 11, Concession 11 in the former Township of Esquesing was a 200-acre parcel granted in two separate patents from the Crown in 1824. The northeast half was granted to Robert Miller and the southwest half to James Byrne. The following year, Miller sold his portion of the property to John McNabb, who sold it in 1828 to his son James. That same year, McNabb also purchased Byrne's southwest half. In following years, McNabb sold Lot 11 off in separate parcels as part of the development of the community of Norval, including portions to other Scottish settlers such as George Goodwillie. McNab also sold portions of the lot to John Barnhart, who leased the mill from McNab in 1830 (Onland 2019b; McDonald 1975). By 1858, Tremaine's Map of the County of Halton shows Lot 11, Concession 11 as subdivided and developed as the community of Norval (Figure 3). The 1877 map of the Township of Esquesing in the Illustrated Historical Atlas of Halton shows Lot 11, as part of "Norval Village" (Figure 3).

**3.1.7.6 Lot 12, Concession 11**

Lot 12, Concession 11 in the former Township of Esquesing was a 200-acre parcel granted in two separate parcels from the Crown. In 1821, the east half was granted to Charles Perry and the following year the southwesterly half was granted to John McNabb. In 1822, Perry sold his portion of the property to Alexander McNabb, and in 1828 John McNabb sold his portion to James McNabb (Onland 2019b).

In 1835, James McNabb and his wife sold the southwesterly half to William Allan, who sold it in 1840 to Peter Adamson (Onland 2019b). Adamson was born in Dundee, Scotland in 1779. Adamson served in the British and Portuguese militaries prior to coming to Upper Canada in 1817. He first settled in the Township of Toronto. In recognition for his considerable military service, Adamson was granted in excess of 2,000-acres in the Counties of Peel and Halton, including 700-acres in the Norval area.



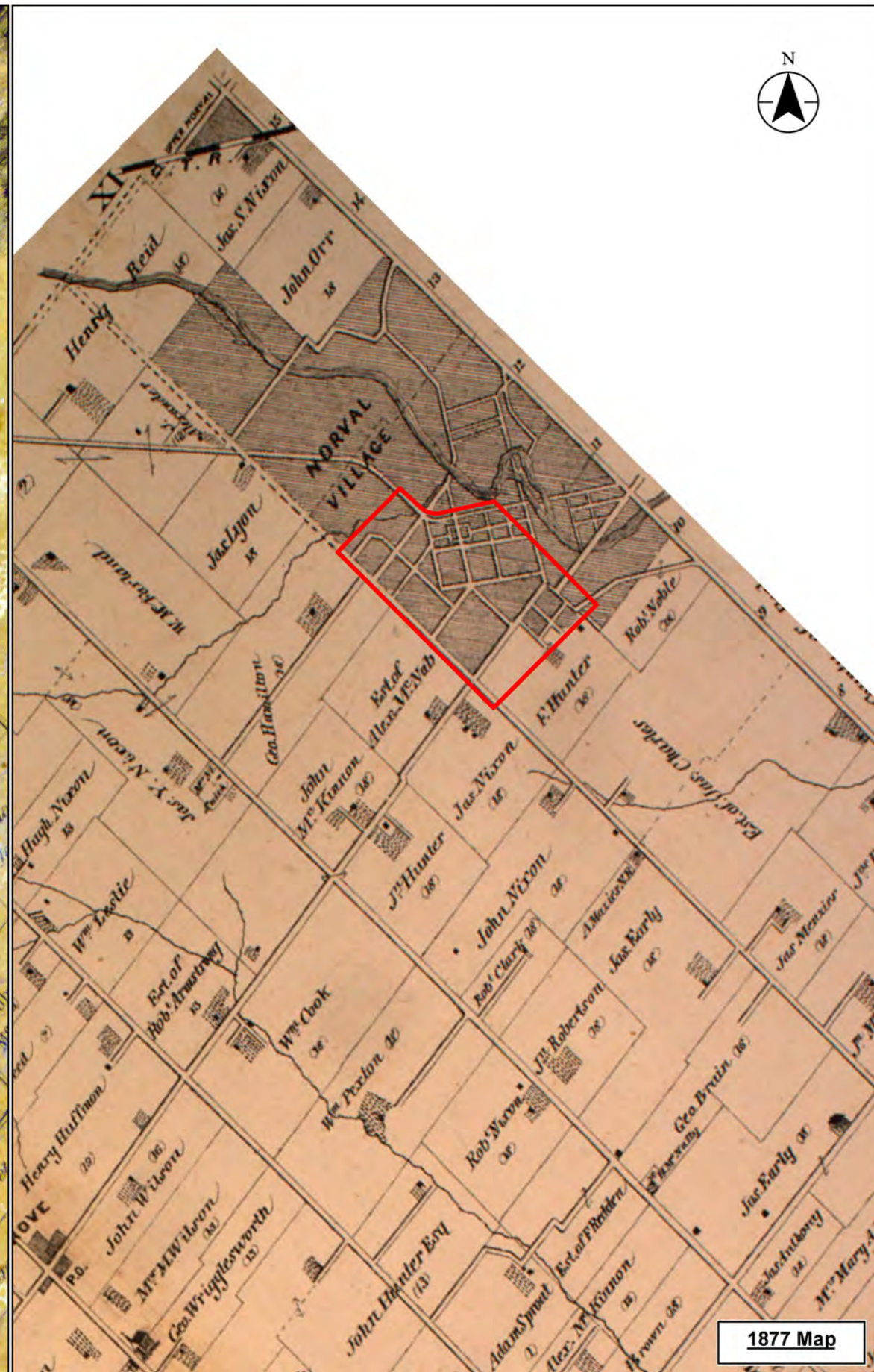
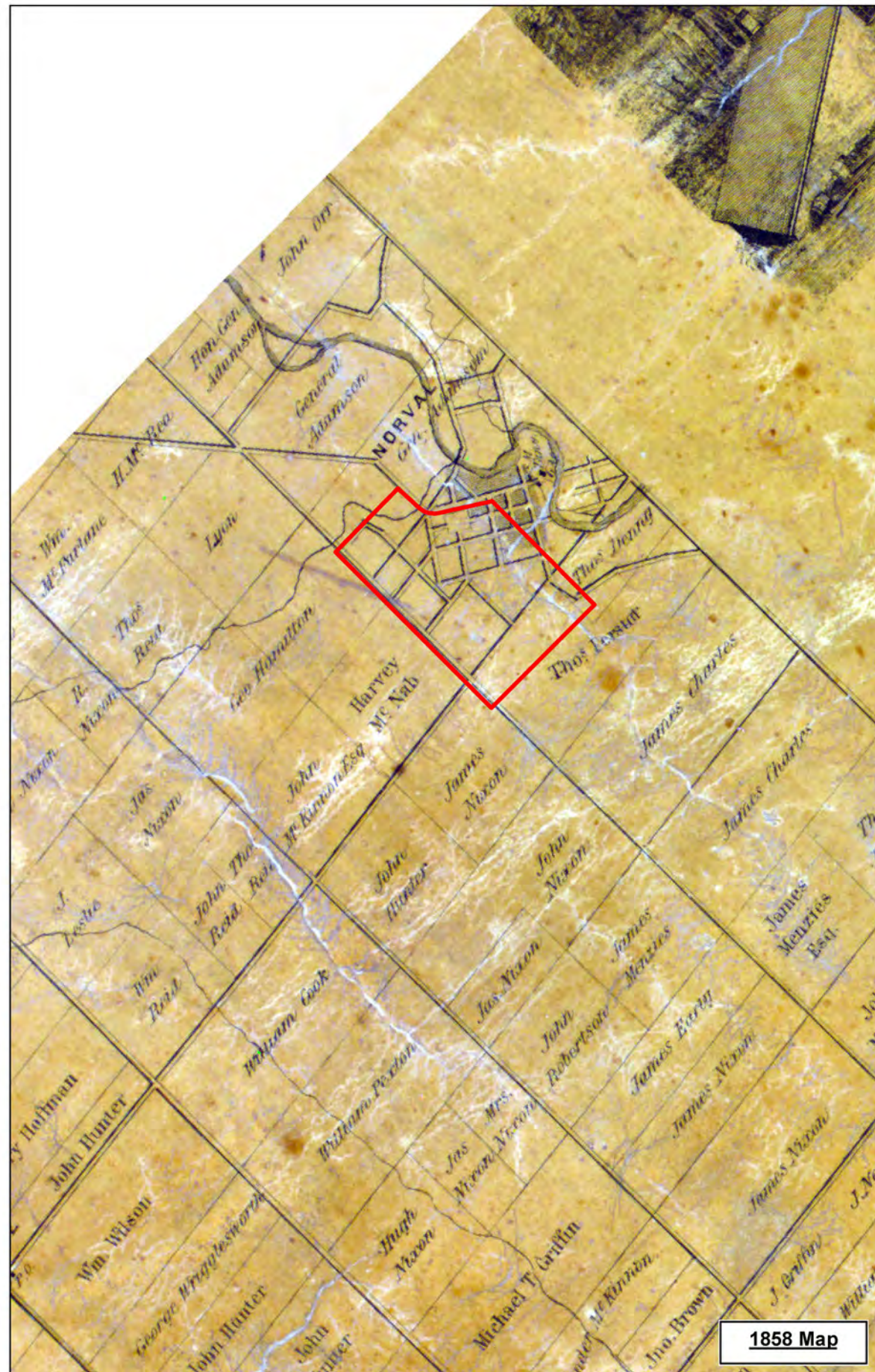
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Adamson amassed a large land holding, at one time controlling over 20,000-acres of land. Adamson was also a member of the Legislative Council of Upper Canada, where he earned the title, 'honourable' (Modern Mississauga 2018). Adamson purchased the mill site from McNabb in 1838, and his son-in-law Colonel Mitchell ran the mills (McDonald 1975).


Alexander McNabb retained the majority of easterly half of the Lot until his death in 1856, except for two small parcels. One was sold to George Goodwillie in 1832 and the other to David Smith in 1849 (Onland 2019b). By 1858, Tremaine's Map of the County of Halton shows Lot 12, Concession 11 as partially subdivided and developed as part of the community of Norval (Figure 3). Adamson is listed as the owner on the property. The 1877 map of the Township of Esquesing in the Illustrated Historical Atlas of Halton shows Lot 12, as part of Norval Village (Figure 3).







Legend

 Study Area

NOT TO SCALE

## Notes

1. Sources:  
Tremaine, Geo. R. 1858. Tremaine's Map of the County of Halton, Canada West.  
Oakville: Geo. C. Tremaine.

Pope, J.H. 1877. Illustrated Historical Atlas of the County of Halton, Ont. Toronto: Walker & Miles.



Project Location  
Municipality of  
Halton, ON

165010598 REVA  
Prepared by BCC on 2024-10-04

Client/Project  
REGIONAL MUNICIPALITY OF HALTON  
NORVAL ROAD WEST BYPASS TRANSPORTATION CORRIDOR  
CULTURAL HERITAGE RESOURCE ASSESSMENT

Figure No.

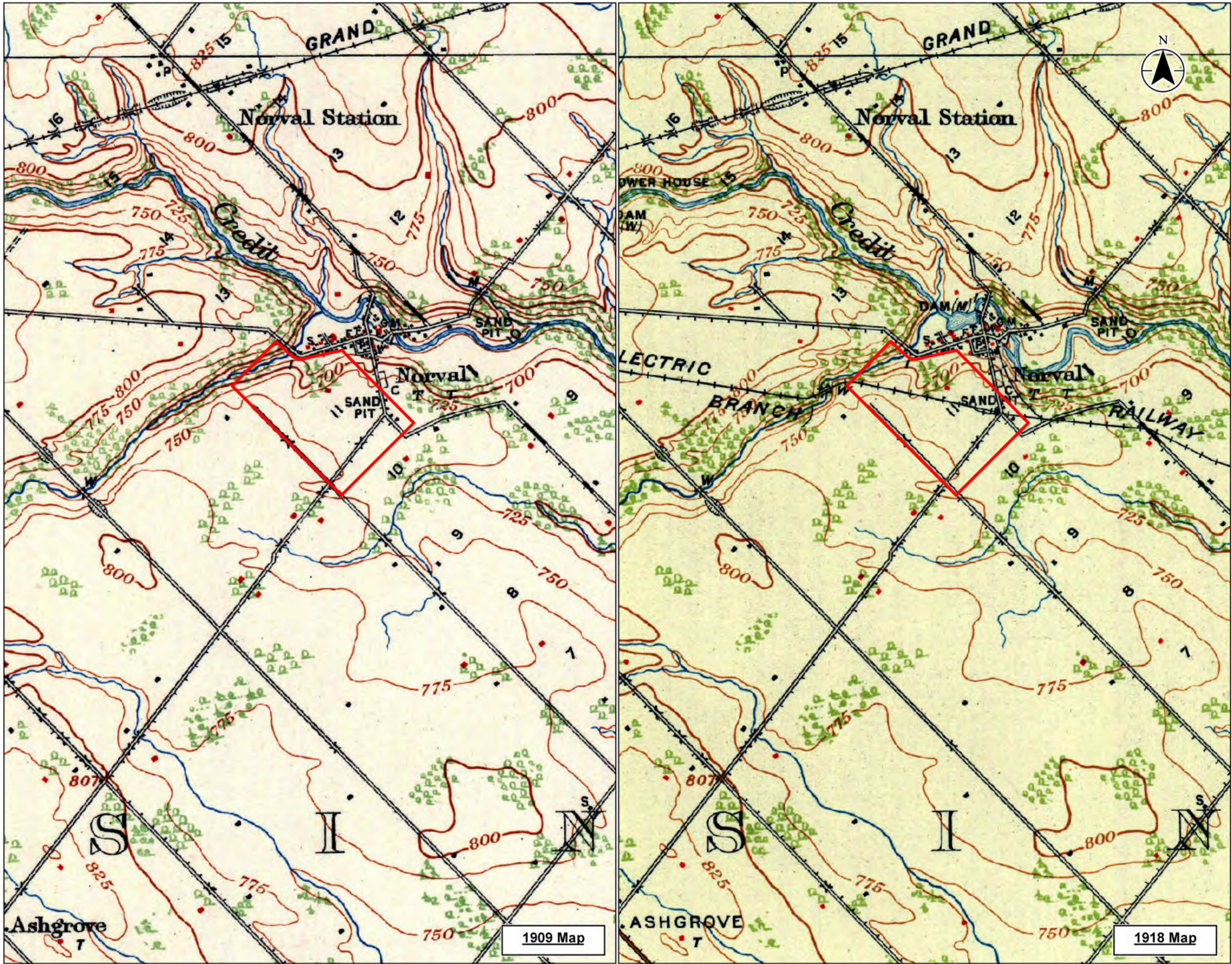
**3**

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Title

## 19th Century Historical Mapping





Legend  
Study Area

NOT TO SCALE

Notes  
1. Sources:  
Department of Militia and Defence, 1909, Topographic Map, Ontario, Brampton Sheet, Geographical Section, General Staff, Surveyed in 1907.  
Department of Militia and Defence, 1913, Topographic Map, Ontario, Brampton Sheet, Surveyed in 1907, reprinted with corrections 1918.



Project Location  
Municipality of  
Halton, ON  
165010598 REVA  
Prepared by BCC on 2024-10-04

Client/Project  
REGIONAL MUNICIPALITY OF HALTON  
NORVAL ROAD WEST BYPASS TRANSPORTATION CORRIDOR  
CULTURAL HERITAGE RESOURCE ASSESSMENT

Figure No.  
4

Title  
Study Area 1909 and 1918



## **3.2 Agency and Municipal Information Request**

To identify heritage resources, the MCM, OHT, and the Town were consulted.

At the provincial level, Karla Barboza, Team Lead, Heritage, with the MCM reported on April 9, 2020, that there are no properties of provincial interest within or adjacent to the Study Area. Kevin DeMille, Heritage Planner with the OHT, reported on April 20, 2020, that there are no OHT conservation easement sites or owned properties within or adjacent to the Study Area.

At the municipal level, staff were consulted to determine the presence of municipally protected heritage properties. Prior to the request for information, a map was compiled based on the Town's online heritage register (Town of Halton Hills 2023). In addition to the known properties, Laura Loney, Senior Heritage Planner with the Town of Halton Hills, responded on April 7, 2020, that two additional properties should be included bringing the total of identified properties to 40 (Table 1). The Town's online heritage register was reviewed again in April 2023, with updates to the CHR (Town of Halton Hills 2023). In relation to the Study Area there are 38 listed properties, and four designated properties. Of these identified properties, 12 were determined to be situated within the Study Area as indicated by the asterisk (\*) in Table 1 below and depicted on Figure 5.

**Table 1 Identified and Protected Heritage Properties in Vicinity of the Study Area**

<b>Municipality</b>	<b>Location/Municipal Address</b>	<b>Level of Recognition</b>
Town of Halton Hills	473 Highway 7 (Guelph Street)	Listed
Town of Halton Hills	475 Highway 7 (Guelph Street)	Designated
Town of Halton Hills	479 Highway 7 (Guelph Street)	Listed
Town of Halton Hills	485 Highway 7 (Guelph Street)	Listed
Town of Halton Hills	399 Draper Street	Designated
Town of Halton Hills	401 Draper Street	Listed

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<b>Municipality</b>	<b>Location/Municipal Address</b>	<b>Level of Recognition</b>
Town of Halton Hills	402 Draper Street	Designated
Town of Halton Hills	404 Draper Street	Designated
Town of Halton Hills	499 Highway 7 (Guelph Street)	Listed
Town of Halton Hills	503 Highway 7 (Guelph Street)	Listed
Town of Halton Hills	507 Highway 7 (Guelph Street)	Listed
Town of Halton Hills	511 Highway 7 (Guelph Street)	Listed
Town of Halton Hills	517 Highway 7 (Guelph Street)	Listed
Town of Halton Hills	521 Highway 7 (Guelph Street)	Listed
Town of Halton Hills	523 Highway 7 (Guelph Street)	Listed
Town of Halton Hills	9 Adamson Street North	Listed
Town of Halton Hills	12 Adamson Street North	Listed
Town of Halton Hills	8 Noble Street	Listed
Town of Halton Hills	10 Noble Street	Listed
Town of Halton Hills	12 Noble Street	Listed
Town of Halton Hills	530 Highway 7 (Guelph Street)	Listed
Town of Halton Hills	16 Adamson Street South	Listed
Town of Halton Hills	12 Adamson Street South	Listed
Town of Halton Hills	4 Adamson Street South	Listed
Town of Halton Hills	2 Adamson Street South	Listed
Town of Halton Hills	9 Green Street*	Listed
Town of Halton Hills	518 Highway 7 (Guelph Street)	Listed
Town of Halton Hills	516 Highway 7 (Guelph Street)	Listed
Town of Halton Hills	514 Highway 7 (Guelph Street)	Listed
Town of Halton Hills	512 Highway 7 (Guelph Street)	Listed
Town of Halton Hills	508 Highway 7 (Guelph Street)	Listed
Town of Halton Hills	506 Highway 7 (Guelph Street)*	Listed
Town of Halton Hills	498 Highway 7 (Guelph Street)*	Listed



**Cultural Heritage Report: Existing Conditions and Preliminary Impact  
Assessment – Norval West Bypass Transportation Corridor Improvements**  
**3 Existing Conditions**  
November 19, 2025

<b>Municipality</b>	<b>Location/Municipal Address</b>	<b>Level of Recognition</b>
Town of Halton Hills	486 Highway 7 (Guelph Street)*	Listed
Town of Halton Hills	484 Highway 7 (Guelph Street)*	Listed
Town of Halton Hills	482 Highway 7 (Guelph Street)*	Listed
Town of Halton Hills	480 Highway 7 (Guelph Street)*	Listed
Town of Halton Hills	9948 Winston Churchill Boulevard*	Listed
Town of Halton Hills	38 Adamson Street South*	Listed
Town of Halton Hills	32 Adamson Street South*	Listed
Town of Halton Hills	16469 10 Side Road*	Listed
Town of Halton Hills	9995 Winston Churchill Boulevard*	Listed







- Legend
- Study Area
  - Property Boundary
  - Watercourse (Permanent)
  - Waterbody
- Identified and Protected Heritage Resources
- Listed Property
  - Designated Property



- Notes
- Coordinate System: NAD 1983 UTM Zone 17N
  - Base features produced under license with the Ontario Ministry of Natural Resources and Forestry © Queen's Printer for Ontario, 2020.
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Project Location  
Municipality of Halton, ON

165010598 REV4  
Prepared by BCC on 2024-10-04

Client/Project  
REGIONAL MUNICIPALITY OF HALTON  
NORVAL ROAD WEST BYPASS TRANSPORTATION  
CORRIDOR

Figure No.  
**5**

Title  
**Identified Protected Heritage Resources**



### **3.3 Identification of Known and Potential Built Heritage Resources and Cultural Heritage Landscapes**

As described in Section 2.4, a windshield survey was undertaken to identify potential heritage resources situated within or adjacent to the Study Area and confirm the presence of known protected properties. Where identified, the known or potential heritage resource was photographically documented from the public RoW.

During the course of the survey, 34 individual sites within and adjacent to the Study Area were identified as containing a known or potential heritage resources (Figure 6). Of those identified, 22 had been recognized by municipal heritage staff through listing on their municipal heritage register. A summary of the known and potential heritage resources within and adjacent to the Study Area is contained in Table 2 and Appendix A.

The Study Area is situated within a rural area of the Town of Halton Hills. Norval remains a small rural community that is mostly residential with some commercial and institutional properties along Highway 7 (Guelph Street) and Adamson Street South and North (Photo 1 to Photo 4). Development is increasing west and east of Norval, as the community of Georgetown and City of Brampton expand. Highway 7 (Guelph Street) is a busy commuter roadway through Norval between Georgetown and Brampton. Suburban development associated with the community of Georgetown is occurring on the west side of the Study Area adjacent to Tenth Line (Photo 5). New development is taking place around the few mid-20<sup>th</sup> century residences on the west side of 10 Line (Photo 6).

**Cultural Heritage Report: Existing Conditions and Preliminary Impact  
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**Photo 1      Highway 7 (Guelph Street) Looking Southeast**



**Photo 2      Highway 7 (Guelph Street) Looking Northeast**



**Photo 3      King Street Looking North to Highway 7 (Guelph Street)**



**Cultural Heritage Report: Existing Conditions and Preliminary Impact  
Assessment – Norval West Bypass Transportation Corridor Improvements  
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**Photo 4      Adamson Street South Looking North to Highway 7 (Guelph Street)**



**Photo 5      Development West of Tenth Line**








**Photo 6      Mid-20th Century Properties on West Side of Tenth Line**



### **3.4 Evaluation of Cultural Heritage Value or Interest**

Where a potential heritage resource was identified within or adjacent to the Study Area, an evaluation of the CHVI of the property was undertaken. As described in Section 2.5, each potential heritage resource was evaluated according to O. Reg. 9/06 (subject to amendments of O. Reg. 569/22), the criteria for determining CHVI. Summary evaluations for each property are contained within Appendix A. Summary forms have also been included for designated heritage properties based on their designating by-laws. In addition, each potential heritage resource was considered both as an individual structure and as part of a potential cultural heritage landscape. Where CHVI was identified, a structure and/or landscape was assigned a BHR or CHL number and the property was determined to contain a heritage resource. There were 22 known and 12 potential heritage resources identified within and adjacent to the Study Area (Figure 6). Of the potential heritage resources identified, 16 were determined to be BHRs and eight were determined to be CHLs (Figure 7). Table 2 summarizes the findings.







Table 2 Cultural Heritage Value or Interest Results

Municipal Address	Known Heritage Recognition	Resource Type	Photograph	CHVI	Identified Attributes	CHR Number	Relationship to Project Location
10158 Tenth Line	No	Residence		No	None identified	N/A	Within the Study Area
10168 Tenth Line	No	Residence		No	None identified	N/A	Within the Study Area
10182 Tenth Line	No	Residence		No	None identified	N/A	Within the Study Area
10200 Tenth Line	No	Residence		No	None identified	N/A	Within the Study Area
10208 Tenth Line	No	Residence		No	None identified	N/A	Within the Study Area



3 Existing Conditions






November 19, 2025

Municipal Address	Known Heritage Recognition	Resource Type	Photograph	CHVI	Identified Attributes	CHR Number	Relationship to Project Location
9948 Winston Churchill Boulevard	Listed	Residence		Yes	Residence: One- and one-half storey structure, medium-pitched side gable roof, front (east) projecting central entry bay, and bookend chimneys.  Property: Wood fencing and mature deciduous and coniferous trees.	CHL-1	Within the Study Area
9950 Winston Churchill Boulevard	No	Barn		Yes	Barn: Gambrel roof structure.	BHR-1	Within the Study Area
9995 Winston Churchill Boulevard	Listed	Residence		Yes	Residence: One- and one-half storey structure, medium-pitched side gable roof, salt box side, horizontal wood siding, three-bay front (west) façade, wood partial covered porch with shed roof, and stone foundation.	BHR-2	Within the Study Area
38 Adamson Street South	Listed	Cemetery		Yes	Cemetery: Metal gate with stone piers and metal fencing, marble and granite grave markers, winding gravel laneways, and mature coniferous and deciduous trees.  The Lodge: One storey structure, gable roof, stone clad exterior, wood doors, wood 6/6	BHR-3	Within the Study Area
32 Adamson Street South	Listed	Cemetery		Yes	Cemetery: Stone and granite grave markers, and Saint Paul's Anglican Pioneer Cemetery plaque.	BHR-4	Within the Study Area
35 Adamson Street South	No	Residence		No	None identified.	N/A	Within the Study Area



3 Existing Conditions

November 19, 2025

Municipal Address	Known Heritage Recognition	Resource Type	Photograph	CHVI	Identified Attributes	CHR Number	Relationship to Project Location
16469 10 Side Road	Listed	Farmstead		Yes	Residence: One- and one-half storey structure, high-pitched cross gable roof, medium-pitched gabled dormers, red brick chimneys, and red brick exterior.  Barn: Timber frame structure, cross gable roof, tin roof, metal finials, gabled dormers, and stone foundation.  Outbuilding: Wood structure and gable roof.  Property: Russell's Hill of Pines and laneway.	CHL-2	Within the Study Area
9 Green Street	Listed	Residence		Yes	Residence: Two- and one-half storey structure, medium-pitched side gable roof, and stone foundation.	BHR-5	Within the Study Area
507 King Street	No	Residence		Yes	Residence: One- and one-half storey structure, medium-pitched cross gable roof, shed dormer, red brick chimney, red brick exterior (painted white), rusticated stone sills, stone lintels, and rusticated stone foundation.  Property: Mature spruce trees.	CHL-3	Within the Study Area
506 Highway 7 (Guelph Street)	Listed	Residence		Yes	Residence: two- and one-half storey structure, high-pitched front facing gable roof, medium-pitched hip roof dormer, brick exterior, two storey bay window, and covered partial porch with wood supports on brick piers.  Property: Mature coniferous trees.	CHL-4	Within the Study Area
504 Highway 7 (Guelph Street)	No	Commercial Building		No	None identified.	N/A	Within the Study Area

3 Existing Conditions





November 19, 2025

Municipal Address	Known Heritage Recognition	Resource Type	Photograph	CHVI	Identified Attributes	CHR Number	Relationship to Project Location
500 Highway 7 (Guelph Street)	No	Commercial Building		No	None identified.	N/A	Within the Study Area
498 Highway 7 (Guelph Street)	Listed	Residence		Yes	Residence: Two- and one-half storey structure, medium-pitched hip roof, medium-pitched hip dormers, red brick exterior, full-width covered wood porch with brick and rusticated stone piers, rusticated stone sills, stone lintels, and rusticated stone foundation.	CHL-5	Within the Study Area
494 Highway 7 (Guelph Street)	No	Residence		No	None identified.	N/A	Within the Study Area
492 Highway 7 (Guelph Street)	No	Commercial building		Yes	None identified.	N/A	Within the Study Area
486 Highway 7 (Guelph Street)	Listed	Church		Yes	Norval United Church: Two storey structure, front facing gable roof, brick parapets, bell tower with pointed arched wood louvred window, red brick exterior, red brick buttresses with concrete parging, projecting gabled entrance with triangular concrete parapet, double wood doors, leaded glass pointed arched windows, pointed arched brick surrounds with brick label stops, wood segmental window surrounds, wood 1/1 pointed arched windows within wood surrounds, and stone foundation.	BHR-6	Within the Study Area






3 Existing Conditions

November 19, 2025

Municipal Address	Known Heritage Recognition	Resource Type	Photograph	CHVI	Identified Attributes	CHR Number	Relationship to Project Location
484 Highway 7 (Guelph Street)	Listed	Residence		Yes	Residence: One and one half storey structure, medium-pitched side gable roof, cedar shake shingles, red brick chimney, three-bay (front) façade with central entrance, gable peaks with wood vergeboard, gabled wood entrance porch with cedar shake shingles, wood columns, wood pediment, wood fish-scale shingles, and stone base, wood segmental and semi-circular window frames, brick voussoirs, wood sills, wood semi-circular window, T-shaped plan, and stone foundation.	BHR-7	Within the Study Area
482 Highway 7 (Guelph Street)	Listed	Residence		Yes	Residence: One storey structure, and low-pitched hip roof, brick chimney, and brick exterior.	BHR-8	Within the Study Area
480 Highway 7 (Guelph Street)	Listed	Residence		Yes	Residence: One- and one-half storey structure, medium-pitched cross gable roof, tin cladding, T-shaped plan, three-bay front (north) façade, and stone foundation.	BHR-9	Within the Study Area
473 Highway 7 (Guelph Street)	Listed	Residence		Yes	Residence: Two storey structure, medium-pitched hip roof, brick chimney, bay window, and decorative segmental arched window surrounds.	BHR-10	Adjacent to the Study Area




3 Existing Conditions


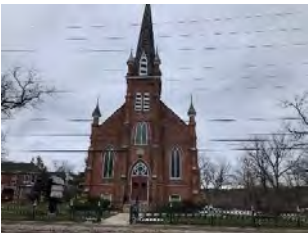

November 19, 2025

Municipal Address	Known Heritage Recognition	Resource Type	Photograph	CHVI	Identified Attributes	CHR Number	Relationship to Project Location
475 Highway 7 (Guelph Street)	Designated	Residence		Yes	Residence: floorboards of white pine from Equesing, original flooring (except in kitchen), four double-hung windows, wide windowsills, south-eastern bedroom ceiling with original smooth plaster lathe, original door on the downstairs bathroom, interior, chimneys, and original stone foundation (Town of Halton Hills 2008). Landscape: Lilac trees (Town of Halton Hills 1996).	CHL-6	Adjacent to the Study Area
479 Highway 7 (Guelph Street)	Listed	Daycare centre and garden		Yes	Former school: One storey structure, flat roof, and brick and metal cladding. Landscape: Ornamental gardens, historic school bell, and line of mature Norway spruce trees.	CHL-7	Adjacent to the Study Area
485 Highway 7 (Guelph Street)	Listed	Residence		Yes	Residence: Two storey structure, medium-pitched hip roof, gabled dormer, red brick exterior, symmetrical three-bay front façade with central entrance, full-width front porch with wood supports on brick piers, and concrete sills and lintels. Landscape: Mature Norway spruce trees.	CHL-8	Adjacent to the Study Area

3 Existing Conditions

November 19, 2025

Municipal Address	Known Heritage Recognition	Resource Type	Photograph	CHVI	Identified Attributes	CHR Number	Relationship to Project Location
399 Highway 7 (Guelph Street)	Designated	Residence		Yes	Residence: a construction date of circa 1840, used as a hotel from circa 1857 until circa 1888, a stopover on the Toronto-Guelph Road, association with the Forster family (owned 1853-1857 by the grandparents of renowned Canadian portraitist and Norval native, J. W. L. Forster), association with Major (Dr.) Armitage Lytton Forbes, loved and respected Norval resident, who served with the Royal Army Medical Corps in WWI and WWII, excellent example of a plain, 2 storey, 3 bay vernacular village home, shallow side-gable roof with shingled gable ends and prominent eaves returns, one original 6 over 6 window (North elevation, upstairs), wooden lap siding and original rear entrance door, and a Norval landmark, that is one of the oldest structures in the village proper (Town of Halton Hills 2014).	BHR-11	Adjacent to the Study Area
401 Draper Street	Listed	Residence		Yes	Residence: One- and one-half storey structure, medium-pitched side gable roof, red brick chimney, salt box side, wood frame windows, enclosed full-width front (east) porch, and stone foundation.	BHR-12	Adjacent to the Study Area
404 Draper Street	Designated	Residence		Yes	Caretaker's Cottage c. 1840 (Town of Halton Hills 2017).	BHR-13	Adjacent to the Study Area

Municipal Address	Known Heritage Recognition	Resource Type	Photograph	CHVI	Identified Attributes	CHR Number	Relationship to Project Location
402 Draper Street	Designated	Residence		Yes	Residence: two-storey red brick Manse built in 1888 in the Italianate style with hip roof, two ornate fret and spool porch roofs and corresponding posts, eaves brackets, second storey raised course of bricks with window headers, foundation raised brick plinth, front door with transom and sidelights, original wood trim and mouldings, plaster lamp escutcheons in the front foyer and living room, period hanging lamps in the front foyer, living room, and study, wooden mantle with iron and tile fireplace insert in the living room, back staircase, main staircase with newel posts, railing and spindles; and Caretaker's Cottage c. 1840 (Town of Halton Hills 2017).	BHR-14	Adjacent to the Study Area
499 Highway 7 (Guelph Street)	Listed	Church		Yes	Church: Two storey structure, steeply-pitched fronting facing gable roof, central three and one half storey tower topped with a spire with cedar shake shingles and a finial, steeply-pitched gabled dormers with pointed arch wood louvred windows and wood carved triquetra, smaller spires set on brick piers and topped with finials, narrow wood louvred windows, red brick exterior, decorative brickwork, wood double entry doors within a pointed arch brick surround with a leaded glass transom, pointed arched leaded glass windows each within a pointed arch brick surround, concrete pointed arch drip moulds with label stops, segmental brick voussoirs, and stone foundation.	BHR-15	Adjacent to the Study Area
503 Highway 7 (Guelph Street)	Listed	Residence		Yes	Residence: One- and one-half storey structure, medium-pitched side gable roof, returned eaves, horizontal wood siding, three-bay front (south) faced, wood panelled sidelights, partial wood porch with projecting entry gable and wood panelled columns, and stone foundation.	BHR-16	Adjacent to the Study Area





- Legend
- Study Area
  - Property Boundary
  - Watercourse (Permanent)
  - Waterbody
  - Protected Heritage Resource
  - Potential Heritage Resource



- Notes
- Coordinate System: NAD 1983 UTM Zone 17N
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Project Location  
Municipality of  
Halton, ON

165010598 REV4  
Prepared by BCC on 2024-10-04

Client/Project  
REGIONAL MUNICIPALITY OF HALTON  
NORVAL ROAD WEST BYPASS TRANSPORTATION  
CORRIDOR

Figure No.  
**6**

Title  
**Protected and Potential Heritage  
Resources**





- Legend
- Study Area
  - Property Boundary
  - Watercourse (Permanent)
  - Cultural Heritage Resource



- Notes
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Project Location  
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Client/Project  
REGIONAL MUNICIPALITY OF HALTON  
NORVAL ROAD WEST BYPASS TRANSPORTATION  
CORRIDOR

Figure No.  
**7**  
Title  
**Identified Heritage Resources**



## **4 Preliminary Impact Assessment**

### **4.1 Description of Undertaking**

The recommended preliminary preferred design for the MCEA includes the implementation of the Norval West Bypass transportation corridor between Highway 7 and 10 Side Road (Regional Road 10) to supply four traffic lanes of additional capacity, including 3.5 m multi-use pathways on either side of the road to support a multimodal transportation network. A single lane roundabout at the Highway 7 and the Norval West Bypass intersection will be installed and will accommodate safe pedestrian crossings. The Norval West Bypass will be a 42 m RoW, with 3.5 m wide vehicular lanes, and a 3 m boulevard separating vehicular traffic from the multi-use paths.

The preliminary preferred design also includes a single lane entry roundabout at the Norval West Bypass and 10 Side Road intersection. Improvements to 10 Side Road are proposed to be completed in phases; it will initially be constructed as a two-lane road, with the footprint for future expansion to four lanes protected under this MCEA study. The widening of 10 Side Road from two to four traffic lanes will provide additional capacity, with multi-use pathways on either side of the road. The ultimate 10 Side Road cross-section is proposed to be a 42 m RoW, with 3.5 wide vehicular lanes, and 1.8 m on-road bike lanes, and 3.0 m multi-use paths on both sides of the road. As noted, the footprint of the ultimate cross-section will be protected under this MCEA, but the design is subject to further refinement and changes under a separate, future study.

The preliminary preferred design alternative is displayed on Plate 6 and Figure 7. The plate displays a conceptual mid-block intersection location along the Norval West Bypass, proposed by the Town of Halton Hills, Southeast Georgetown Secondary Plan study. The intersection configuration and location are conceptual only and will be subject to further refinement by the Town of Halton Hills, in consultation with Halton Region. Grading impacts due to excavation needs for the Norval West Bypass will be taken into consideration for this impact assessment.



**Plate 6      Preliminary Preferred Design Alternative**



## **4.2 Identification of Preliminary Potential Project Specific Impacts and Proposed Mitigation Measures**

The results of the preliminary impact assessment and preparation of mitigation measures are presented in Table 3.



Table 3 Preliminary Impact Assessment and Mitigation Measures

Reference Number	Location	Previous Heritage Recognition	Type and Description of Potential/Anticipated Impact	Mitigation
CHL-1	9948 Winston Churchill Boulevard	Listed	<b>No Impacts Anticipated:</b> The property is located southeast of the Proposed Road Alignment. Construction activities are proposed more than 347 m from identified heritage attributes. Therefore, the property is not at risk of direct or indirect impacts and no mitigation measures or further cultural heritage evaluation are required.	Continued avoidance is recommended.
BHR-1	9950 Winston Churchill Boulevard	Identified during field review	<b>No Impacts Anticipated:</b> The property is located southeast of the Proposed Road Alignment. Construction activities are proposed more than 339 m from identified heritage attributes. Therefore, the property is not at risk of direct or indirect impacts and no mitigation measures or further cultural heritage evaluation are required.	Continued avoidance is recommended.
BHR-2	9995 Winston Churchill Boulevard	Listed	<b>No Impacts Anticipated:</b> The property is located east of the Proposed Road Alignment. Construction activities are proposed more than 289 m from identified heritage attributes. Therefore, the property is not at risk of direct or indirect impacts and no mitigation measures or further cultural heritage evaluation are required.	Continued avoidance is recommended.
BHR-3	38 Adamson Street South	Listed	<b>No Impacts Anticipated:</b> The property is located east of the Proposed Road Alignment. Construction activities are proposed more than 277 m from identified heritage attributes. Therefore, the property is not at risk of direct or indirect impacts and no mitigation measures or further cultural heritage evaluation are required.	Continued avoidance is recommended.
BHR-4	32 Adamson Street South	Listed	<b>No Impacts Anticipated:</b> The property is located east of the Proposed Road Alignment. Construction activities are proposed more than 337 m from identified heritage attributes. Therefore, the property is not at risk of direct or indirect impacts and no mitigation measures or further cultural heritage evaluation are required.	Continued avoidance is recommended.



Reference Number	Location	Previous Heritage Recognition	Type and Description of Potential/Anticipated Impact	Mitigation
CHL-2	16469 10 Side Road	Listed	<p><b>Direct:</b> The Proposed Road Alignment extends through the property. A wood gabled roofed outbuilding on the property is with the proposed grading limits.</p> <p><b>Indirect:</b> The Proposed Road Alignment extends through the property. Construction activities are proposed within 25 m of the barn, 120 m of the residence, The position of the barn within 25 metres has the potential for indirect impacts resulting from vibration damage during construction activities.</p>	<b>Recommended:</b> A Heritage Impact Assessment (HIA) should be prepared for the property as early as possible during detailed design. The HIA should be undertaken by a qualified person, and developed in consultation with, and submitted for review to the MCM and heritage stakeholders. The HIA will discuss the preferred alternative and recommend ways to minimize or mitigate adverse effects on the property.
BHR-5	9 Green Street	Listed	<p><b>No Impacts Anticipated:</b> The property is located east of the Proposed Road Alignment. Construction activities are proposed more than 400 m from identified heritage attributes. Therefore, the property is not at risk of direct or indirect impacts and no mitigation measures or further cultural heritage evaluation are required.</p>	Continued avoidance is recommended.
CHL-3	507 King Street	Identified during field review	<p><b>No Impacts Anticipated:</b> The property is located east of the Proposed Road Alignment. Construction activities are proposed more than 350 m from identified heritage attributes. Therefore, the property is not at risk of direct or indirect impacts and no mitigation measures or further cultural heritage evaluation are required.</p>	Continued avoidance is recommended.
CHL-4	506 Highway 7 (Guelph Street)	Listed	<p><b>No Impacts Anticipated:</b> The property is located east of the Proposed Road Alignment. Construction activities are proposed more than 300 m from identified heritage attributes. Therefore, the property is not at risk of direct or indirect impacts and no mitigation measures or further cultural heritage evaluation are required.</p>	Continued avoidance is recommended.
CHL-5	498 Highway 7 (Guelph Street)	Listed	<p><b>No Impacts Anticipated:</b> The property is located east of the Proposed Road Alignment. Construction activities are proposed more than 230 m from identified heritage attributes. Therefore, the property is not at risk of direct or indirect impacts and no mitigation measures or further cultural heritage evaluation are required.</p>	Continued avoidance is recommended.



Reference Number	Location	Previous Heritage Recognition	Type and Description of Potential/Anticipated Impact	Mitigation
BHR-6	486 Highway 7 (Guelph Street)	Listed	<b>No Impacts Anticipated:</b> The property is located east of the Proposed Road Alignment. Construction activities are proposed more than 70 m from identified heritage attributes. Therefore, the property is not at risk of direct or indirect impacts and no mitigation measures or further cultural heritage evaluation are required.	Continued avoidance is recommended.
BHR-7	484 Highway 7 (Guelph Street)	Listed	<b>Indirect:</b> The residence is situated east of the Proposed Road Alignment. Construction activities are proposed within 22 m of the identified BHR. The position of the residence within 22 m has the potential for indirect impacts resulting from vibration damage during construction activities.	<b>Preferred Option:</b> Avoid the BHR by establishing a buffer zone around the residence to limit construction activity to more than 50 m away. This should use appropriate preventative measures such as mapping of the BHR on construction maps and temporary fencing. Staging and laydown areas should also be selected so that they are non-invasive and avoid the BHR. Where avoidance is not feasible, the alternative option should be applied. <b>Alternative Option:</b> Where construction activities are anticipated within the 50 m buffer zone a pre-construction vibration assessment by a qualified engineer is recommended in order to determine if vibration monitoring or site plan controls are required.
BHR-8	482 Highway 7 (Guelph Street)	Listed	<b>Indirect:</b> The residence is situated east of the Proposed Road Alignment. Construction activities are proposed within 11 m of the identified BHR. The position of the residence within 11 m has the potential for indirect impacts resulting from vibration damage during construction activities.	<b>Preferred Option:</b> Avoid the BHR by establishing a buffer zone around the residence to limit construction activity to more than 50 m away. This should use appropriate preventative measures such as mapping of the BHR on construction maps and temporary fencing. Staging and laydown areas should also be selected so that they are non-invasive and avoid the BHR. Where avoidance is not feasible, the alternative option should be applied. <b>Alternative Option:</b> Where construction activities are anticipated within the 50 m buffer zone a pre-construction vibration assessment by a qualified engineer is recommended in order to determine if vibration monitoring or site plan controls are required.



Reference Number	Location	Previous Heritage Recognition	Type and Description of Potential/Anticipated Impact	Mitigation
BHR-9	480 Highway 7 (Guelph Street)	Listed	<b>Indirect:</b> The residence is situated east of the Proposed Road Alignment. Construction activities are proposed within 8 m of the identified BHR. The position of the residence within 8 m has the potential for indirect impacts resulting from vibration damage during construction activities.	<p><b>Preferred Option:</b> Avoid the BHR by establishing a buffer zone around the residence to limit construction activity to more than 50 m away. This should use appropriate preventative measures such as mapping of the BHR on construction maps and temporary fencing. Staging and laydown areas should also be selected so that they are non-invasive and avoid the BHR. Where avoidance is not feasible, the alternative option should be applied.</p> <p><b>Alternative Option:</b> Where construction activities are anticipated within the 50 m buffer zone a pre-construction vibration assessment by a qualified engineer is recommended in order to determine if vibration monitoring or site plan controls are required.</p>
BHR-10	473 Highway 7 (Guelph Street)	Listed	<b>Indirect:</b> The residence is situated northeast of the Proposed Road Alignment. Construction activities are proposed within 26 metres of the identified BHR. The position of the residence within 26 metres has the potential for indirect impacts resulting from vibration damage during construction activities.	<p><b>Preferred Option:</b> Avoid the BHR by establishing a buffer zone around the residence to limit construction activity to more than 50 m away. This should use appropriate preventative measures such as mapping of the BHR on construction maps and temporary fencing. Staging and laydown areas should also be selected so that they are non-invasive and avoid the BHR. Where avoidance is not feasible, the alternative option should be applied.</p> <p><b>Alternative Option:</b> Where construction activities are anticipated within the 50 m buffer zone a pre-construction vibration assessment by a qualified engineer is recommended in order to determine if vibration monitoring or site plan controls are required.</p>

Reference Number	Location	Previous Heritage Recognition	Type and Description of Potential/Anticipated Impact	Mitigation
CHL-6	475 Highway 7 (Guelph Street)	Designated	<b>Indirect:</b> The residence and lilac trees are situated north of the Proposed Road Alignment. Construction activities are proposed within 10 m of the identified heritage attributes. The position of the residence and lilac trees within 10 m has the potential for indirect impacts resulting from vibration damage during construction activities.	<p><b>Preferred Option:</b> Avoid the CHL by establishing a buffer zone around the residence to limit construction activity to more than 50 m away. This should use appropriate preventative measures such as mapping of the CHL on construction maps and temporary fencing. Staging and laydown areas should also be selected so that they are non-invasive and avoid the CHL. Where avoidance is not feasible, the alternative option should be applied.</p> <p><b>Alternative Option:</b> Where construction activities are anticipated within the 50 m buffer zone a pre-construction vibration assessment by a qualified engineer is recommended in order to determine if vibration monitoring or site plan controls are required.</p>
CHL-7	479 Highway 7 (Guelph Street)	Listed	<b>Indirect:</b> The CHL is situated north of the Proposed Road Alignment. Construction activities are proposed within 9 to 14 m of the identified heritage attributes including the ornamental gardens and mature Norway spruce trees. The position of the landscape elements within 9 to 14 m has the potential for indirect impacts resulting from vibration damage during construction activities.	<p><b>Preferred Option:</b> Avoid the CHL by establishing a buffer zone around the residence to limit construction activity to more than 50 m away. This should use appropriate preventative measures such as mapping of the CHL on construction maps and temporary fencing. Staging and laydown areas should also be selected so that they are non-invasive and avoid the CHL. Where avoidance is not feasible, the alternative option should be applied.</p> <p><b>Alternative Option:</b> Where construction activities are anticipated within the 50 m buffer zone a pre-construction vibration assessment by a qualified engineer is recommended in order to determine if vibration monitoring or site plan controls are required.</p>

Reference Number	Location	Previous Heritage Recognition	Type and Description of Potential/Anticipated Impact	Mitigation
CHL-8	485 Highway 7 (Guelph Street)	Listed	<b>No Impacts Anticipated:</b> The property is located northeast of the Proposed Road Alignment. Construction activities are proposed more than 60 m from identified heritage attributes. Therefore, the property is not at risk of direct or indirect impacts and no mitigation measures or further cultural heritage evaluation are required.	Continued avoidance is recommended.
BHR-11	399 Draper Street	Designated	<b>No Impacts Anticipated:</b> The property is located northeast of the Proposed Road Alignment. Construction activities are proposed more than 110 m from identified heritage attributes. Therefore, the property is not at risk of direct or indirect impacts and no mitigation measures or further cultural heritage evaluation are required.	Continued avoidance is recommended.
BHR-12	401 Draper Street	Listed	<b>No Impacts Anticipated:</b> The property is located northeast of the Proposed Road Alignment. Construction activities are proposed more than 105 m from identified heritage attributes. Therefore, the property is not at risk of direct or indirect impacts and no mitigation measures or further cultural heritage evaluation are required.	Continued avoidance is recommended.
BHR-13	404 Draper Street	Designated	<b>No Impacts Anticipated:</b> The property is located northeast of the Proposed Road Alignment. Construction activities are proposed more than 137 m from identified heritage attributes. Therefore, the property is not at risk of direct or indirect impacts and no mitigation measures or further cultural heritage evaluation are required.	Continued avoidance is recommended.
BHR-14	402 Draper Street	Designated	<b>No Impacts Anticipated:</b> The property is located northeast of the Proposed Road Alignment. Construction activities are proposed more than 140 m from identified heritage attributes. Therefore, the property is not at risk of direct or indirect impacts and no mitigation measures or further cultural heritage evaluation are required.	Continued avoidance is recommended.



Reference Number	Location	Previous Heritage Recognition	Type and Description of Potential/Anticipated Impact	Mitigation
BHR-15	499 Highway 7 (Guelph Street)	Listed	<b>No Impacts Anticipated:</b> The property is located northeast of the Proposed Road Alignment. Construction activities are proposed more than 165 m from identified heritage attributes. Therefore, the property is not at risk of direct or indirect impacts and no mitigation measures or further cultural heritage evaluation are required.	Continued avoidance is recommended.
BHR-16	503 Highway 7 (Guelph Street)	Listed	<b>No Impacts Anticipated:</b> The property is located northeast of the Proposed Road Alignment. Construction activities are proposed more than 210 m from identified heritage attributes. Therefore, the property is not at risk of direct or indirect impacts and no mitigation measures or further cultural heritage evaluation are required.	Continued avoidance is recommended.

### **4.3 Summary of Preliminary Potential Impacts**

Following the assessment of impacts presented in Section 4.2 direct and indirect impacts are anticipated.

**Direct Impacts:** The Norval West Bypass has the potential for direct impacts to an outbuilding identified on CHL-2 (16469 10 Side Road). It is recommended that an HIA be prepared as early as possible during detailed design to minimize impacts to the identified CHL. The draft Cultural Heritage Resource Assessment for the Southeast Georgetown Secondary Plan was prepared by Wood Group for the Town of Halton Hills in March 2021. This report included the evaluation of CHL-2 according to O. Reg. 9/06 and a Statement of Cultural Heritage Value or Interest. If this Statement is finalized and accepted by the Town of Halton Hills, the HIA for the Norval West Bypass can be scoped based on the Statement. The HIA for the Norval West Bypass should include an existing conditions assessment for the property.

**Indirect Impacts:** Six known CHL or BHR were identified to be situated within 50 m of planned construction activities and are at risk for potential indirect, vibration related impacts, including:

- BHR-7 (484 Highway 7)
- BHR-8 (482 Highway 7)
- BHR-9 (480 Highway 7)
- BHR-10 (473 Highway 7)
- CHL-6 (475 Highway 7)
- CHL-7 (479 Highway 7)

Where the potential for impacts has been identified, measures to mitigate impacts have been prepared. Precautions are required to conserve known BHR and CHL through avoidance and mitigation where the potential for the Project to cause an impact has been identified. Peak Particle velocity, or PPV, should be limited to 2-3 millimetres per



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second. Therefore, the mitigation options below have been developed to provide for the conservation of BHR and CHL identified.

The potential for indirect impacts resulting from vibration effects is related to the Project's construction phase. Where potential impacts have been identified, components of the BHRs and CHLs are positioned within the 50 m buffer but outside the direct Project Location. As a result, a preventive approach to mitigation measures will reduce the risk of indirect impacts. The following are the preferred and alternative mitigation options:

**Preferred Option:** Avoid properties containing known BHR or CHL by establishing a buffer zone around the resource to avoid construction activity with 50 m of the BHR or CHL. This should use appropriate preventative measures such as mapping on construction maps and temporary fencing. Staging and laydown areas should also be selected to be non-invasive and avoid the known BHR or CHL. Where avoidance is not feasible, the alternative option should be applied.

**Alternative Option:** For resources within 50 m of the Project Location that cannot be avoided, the alternative option to mitigate this risk is for a qualified building condition specialist or engineer to develop a strategy to carry out condition surveys and vibration monitoring, where required. The pre-condition survey may include screening activities to identify critical properties and determine appropriate vibration levels based on building type, age, and condition. Vibration monitoring may consist of random confirmatory vibration monitoring at the most critical properties during pipeline installation. A post-condition survey should be carried out on an as-needed basis to be determined by the qualified building condition specialist or engineer.



## **5 Recommendations**

### **5.1 Heritage Impact Assessment**

Direct impacts were identified for CHL-2 (16469 Side Road 10). It is recommended that an HIA be prepared as early as possible during detailed design to minimize impacts to the identified CHL. Coordination with the Town of Halton Hills will take place during detailed design. The draft Cultural Heritage Resource Assessment for the Southeast Georgetown Secondary Plan was prepared by Wood Group for the Town of Halton Hills in March 2021. This report included the evaluation of CHL-2 according to O. Reg. 9/06 and a Statement of Cultural Heritage Value or Interest. If this Statement is finalized and accepted by the Town of Halton Hills, the HIA for the Norval West Bypass can be scoped based on the Statement. The HIA for the Norval West Bypass should include an updated condition assessment for the property.

### **5.2 Site Plan Controls and Vibration Assessment**

Indirect impacts were identified for six known BHR or CHL situated within 50 m of planned construction activities, and they are at risk for potential indirect, vibration-related impacts, including:

- BHR-7 (484 Highway 7)
- BHR-8 (482 Highway 7)
- BHR-9 (480 Highway 7)
- BHR-10 (473 Highway 7)
- CHL-6 (475 Highway 7)
- CHL-7 (479 Highway 7)

The preferred option is to avoid properties containing known BHR or CHL by establishing a buffer zone around the resource to avoid construction activity with 50 m of the BHR or CHL. The preferred option should use appropriate preventative measures such as mapping on construction maps and temporary fencing. Staging and laydown

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areas should also be selected to be non-invasive and avoid known BHR or CHL. Where avoidance is not feasible, the alternative option should be applied.

The alternative option to mitigate this risk is for a qualified building condition specialist or engineer to develop a strategy to carry out condition surveys and vibration monitoring, where required. The pre-condition survey may include screening activities to identify critical properties and determine appropriate vibration levels based on building type, age, and condition. Vibration monitoring may consist of random confirmatory vibration monitoring at the most critical properties during pipeline installation. A post-condition survey should be carried out on an as-needed basis to be determined by the qualified building condition specialist or engineer.

To assist in the retention of historic information, copies of this report should be deposited with local repositories of historic material as well as with municipal and regional planning staff. Therefore, it is recommended that this report be deposited at the following locations:

**Halton Hills Public Library, Georgetown Branch**

9 Church Street

Georgetown, ON L7G AA3

**Heritage Halton Hills Committee**

1 Halton Hills Drive

Halton Hills, ON L7G 5G2



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## **7 Project Personnel Biographies**

**Laura Walter** is a Cultural Heritage Specialist, with over 13 years of experience in the promotion and conservation of cultural heritage through education, public interaction, building conservation, and museums. Ms. Walter is a member of the Canadian Association of Heritage Professionals (CAHP), and has a Master's Degree in Public History from The University of Western Ontario. Laura is well experienced in managing and executing all aspects of cultural heritage studies, from research, site assessment, analysis and evaluation, and the development of mitigation measures and recommendations. Ms. Walter is well versed with local, provincial, and federal tools for the identification, evaluation, conservation, and planning best practices for cultural heritage resources. Laura has a passion for uncovering the unique cultural heritage of communities in Canada. With a strong focus on client relations, Ms. Walter works with clients to achieve a balance between heritage conservation and contemporary development. For this report, Laura completed historical research, fieldwork, and the impact assessment.

**Meaghan Rivard** is Stantec's Senior Heritage Consultant with experience in the identification, evaluation, and documentation of heritage resources as well as expertise in the environmental assessment process as it pertains to heritage resources. Ms. Rivard is a member of the Canadian Association of Heritage Professionals and works across disciplines in a variety of settings from municipal conservation planning to transportation infrastructure and environmental assessments. Ms. Rivard has experience managing and executing all aspects of Cultural Heritage Evaluation Reports (CHERs), Cultural Heritage Assessment Reports (CHARs), Heritage Impact Assessments (HIAs), Strategic Conservation Plans (SCPs), and Documentation and Salvage Reports, among others. She has assessed more than 2,500 properties as part of windshield surveys and directed large scale inventory work across the province working under various classed environmental assessments (EAs). In addition to EA related work, Meaghan continues to be actively involved in the assessment of individual



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properties. Here she utilizes knowledge in the identification, evaluation, and documentation of heritage resources alongside expertise in the assessment of proposed change and preparation of options to mitigate negative impacts on heritage resources. Meaghan is focused on regulatory satisfaction balanced with an admiration for the heritage of our province. For this report, Meaghan provided quality review.

**Colin Varley** is a Senior Associate and Senior Archaeologist listed with the Register of Professional Archaeologists and has been a practicing archaeologist for over thirty-five years. Colin has managed hundreds of archaeological and heritage assessment projects in Ontario, Nova Scotia, New Brunswick, Prince Edward Island, Labrador and Saskatchewan, including such major projects as: the Samsung Grand Renewable Energy Project in Haldimand County, Ontario; all phases of archaeological assessment at the Canadian War Museum site at LeBreton Flats, Ottawa; six highway projects; over 500 km of natural gas pipeline routes; the proposed Halifax Superport terminal; the Halifax Harbour Solutions sewage treatment project; numerous road and bridge twinning projects; several hydro powerline corridors; the Lower Churchill River hydro project, and a gold mining operation in Niger, West Africa. Colin has completed projects for all levels of government and has been the Project Manager and Key Client Contact for standing services contracts with the National Capital Commission, the City of Hamilton, Infrastructure Ontario and the City of Ottawa. Outside of his professional consulting work, Colin has also been a member of the Township of Tiny Heritage and Historical Committee and the City of Ottawa's Heritage Advisory Committee, acting as Vice-Chair in 2003-2004. He was also a member of the City of Ottawa Heritage Master Plan Workgroup. For this report, Colin provided independent review.



## **Appendices**



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Appendix A Inventory of Cultural Heritage Resources  
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**Appendix A      Inventory of Cultural Heritage  
Resources**







**Municipal Address:** 10158 Tenth Line

**Former Township:** Township of Esquesing

**Lot, Concession:** 11, 10

**Municipality:** Town of Halton Hills

**Resource Type:** Residence

**Associated Dates:** 1943-1962

**Relationship to Project:** Within the Study Area

**Description:** The property contains a residence. The residence is a one storey structure with a medium-pitched side gable roof that is clad with metal shingles and has a brick chimney. The structure has a brick exterior with modern windows and doors. The residence has a concrete foundation.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.		✓
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.		✓
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.		✓
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** N/A

**Identified Heritage Attributes:** None identified

**Identification of CHVI:** No

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** N/A

**Date Completed:** December 12, 2019





**Municipal Address:** 10168 Tenth Line

**Former Township:** Township of Esquesing

**Lot, Concession:** 11, 10

**Municipality:** Town of Halton Hills

**Resource Type:** Residence

**Associated Dates:** 1943-1962

**Relationship to Project:** Within the Study Area

**Description:** The property contains a residence. The residence is a one storey structure with a low-pitched hip roof with asphalt shingles. The structure has a red brick exterior with faux stone cladding. The residence has modern doors and windows. The front (east) façade has a partial concrete porch clad with faux stone. The residence has an attached carport.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.		✓
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.		✓
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.		✓
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** N/A

**Identified Heritage Attributes:** None identified

**Identification of CHVI:** No

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** N/A

**Date Completed:** December 12, 2019





**Municipal Address:** 10182 Tenth Line

**Former Township:** Township of Esquesing

**Lot, Concession:** 11, 10

**Municipality:** Town of Halton Hills

**Resource Type:** Residence

**Associated Dates:** 1943-1962

**Relationship to Project:** Within the Study Area

**Description:** The property contains a residence. The residence is a one storey structure with a medium-pitched hip roof with asphalt shingles. Its exterior is clad in aluminum siding. The residence has modern windows and doors. The front (east) façade has a partial concrete porch. The residence has a concrete foundation and attached single-car garage.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.		✓
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓



Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.		✓
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.		✓
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** N/A

**Identified Heritage Attributes:** None identified

**Identification of CHVI:** No

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** N/A

**Date Completed:** December 12, 2019





**Municipal Address:** 10200 Tenth Line

**Former Township:** Township of Esquesing

**Lot, Concession:** 12, 10

**Municipality:** Town of Halton Hills

**Resource Type:** Residence

**Associated Dates:** 1943-1962

**Relationship to Project:** Within the Study Area

**Description:** The property contains a residence and a garage. The residence is a one storey structure with a medium-pitched side gable roof with asphalt shingles and a concrete block chimney. The residence is clad in aluminum siding. The front (east) façade has a central entrance with a partial wood porch. The structure has modern windows and doors, and a concrete foundation. To the rear of the residence is a detached single-car garage. The garage has a gable roof and is clad in aluminum siding.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.		✓
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.		✓
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.		✓
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** N/A

**Identified Heritage Attributes:** None identified

**Identification of CHVI:** No

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** N/A

**Date Completed:** December 12, 2019





**Municipal Address:** 10208 Tenth Line

**Former Township:** Township of Esquesing

**Lot, Concession:** 12, 10

**Municipality:** Town of Halton Hills

**Resource Type:** Residence

**Associated Dates:** 1943-1962

**Relationship to Project:** Within the Study Area

**Description:** The property contains a residence. The residence is a one storey structure with a medium-pitched hip roof with asphalt shingles and brick chimney. The structure has a red brick exterior with modern windows and doors. The residence has a concrete foundation and an attached garage.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.		✓
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓



Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.		✓
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.		✓
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** N/A

**Identified Heritage Attributes:** None identified

**Identification of CHVI:** No

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** N/A

**Date Completed:** December 12, 2019





**Municipal Address:** 9948 Winston Churchill Boulevard

**Former Township:** Township of Esquesing

**Lot, Concession:** 10, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Farmstead

**Associated Dates:** 1860-1877

**Relationship to Project:** Within the Study Area

**Description:** The property contains a residence. The residence, barn, and outbuildings are set back from the roadway off a long winding driveway. The driveway is lined with mature deciduous trees. The view of the residence is obstructed from the roadway by distance and vegetation. The property includes wood fencing, two ponds, fields, and mature deciduous and coniferous trees.

The residence is a one- and one-half storey structure with a medium-pitched side gable roof. The structure has bookend chimneys. The front (east) façade has a projecting central gabled entry bay. The Town's heritage register notes that the property has a lancet window with keystone voussoir on the central gabled entry bay, bargeboard along all eaves, dichrome brick (now painted) pattern under eaves, six-over-six windows

with large stone lintels and sills, and main entry with transom, sidelights, and large stone lintel (Town of Halton Hills 2023).

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓	
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.	✓	
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓	
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** The construction of this residence dates between 1860 and 1877, determined through historical mapping and its architectural style. The residence is representative of a late 19<sup>th</sup> century Gothic Revival farmhouse. The property was the former residence of renowned Canadian portraitist and Norval native, J.W.L. Forster (1850-1938). The residence supports the late 19<sup>th</sup> century rural character of the area.

**Identified Heritage Attributes:** Residence: one- and one-half storey structure, medium-pitched side gable roof, front (east) projecting central entry bay, and bookend chimneys. Property: wood fencing and mature deciduous and coniferous trees.

**Identification of CHVI:** Yes

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** CHL-1

**Date Completed:** December 12, 2019







**Municipal Address:** 9950 Winston Churchill Boulevard

**Former Township:** Township of Esquesing

**Lot, Concession:** 10, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Farmstead

**Associated Dates:** 1877-1909 (barn)

**Relationship to Project:** Within the Study Area

**Description:** The property contains a barn, outbuildings, and agricultural fields. The view of the barn is obstructed from the roadway by distance and vegetation. The barn is a gambrel roof structure that is clad in metal. The roof has ventilators. Adjacent to the barn are two metal outbuildings each with a gable roof that is clad with metal.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓	
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.		✓
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓	
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** The construction of this barn dates between 1877 and 1909, determined through historic and topographic mapping. The barn is representative of a late 19th to early 20th century Ontario vernacular barn. The barn supports the late 19th to early 20th century rural character of the area.

**Identified Heritage Attributes:** Barn – Gambrel roof structure

**Identification of CHVI:** Yes

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** BHR-1

**Date Completed:** December 12, 2019





**Municipal Address:** 9995 Winston Churchill Boulevard

**Former Township:** Township of Esquesing

**Lot, Concession:** 10, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Residence

**Associated Dates:** 1877-1909

**Relationship to Project:** Within the Study Area

**Description:** The property contains a residence and a garage. The residence is a one-and one-half storey structure with a medium-pitched side gable roof and salt box side. The roof is clad in asphalt shingles. The residence is clad in horizontal wood side. The three-bay front (west) façade has a central entrance with a partial covered wood porch with a shed roof. The structure has modern windows and front door. The residence has a stone foundation. The adjacent garage is a gable roof structure clad in horizontal wood siding.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓	
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.		✓
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓	
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** The construction of this residence dates between 1877 and 1909, determined through historical and topographic mapping. The residence is representative of a late 19<sup>th</sup> to early 20<sup>th</sup> century Ontario vernacular structure. The residence supports the late 19<sup>th</sup> to early 20<sup>th</sup> century rural character of the area.

**Identified Heritage Attributes:** Residence: one- and one-half storey structure, medium-pitched side gable roof, salt box side, horizontal wood siding, three-bay front (west) façade, wood partial covered porch with shed roof, and stone foundation.

**Identification of CHVI:** Yes



**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** BHR-2

**Date Completed:** December 12, 2019





**Municipal Address:** 38 Adamson Street South

**Former Township:** Township of Esquesing

**Lot, Concession:** 11, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Cemetery

**Associated Dates:** 1839 (cemetery); 1954 (lodge building)

**Relationship to Project:** Within the Study Area

**Description:** The property contains the Hillcrest Cemetery. The property is Listed on the Town of Halton Hills Heritage Register.

The entrance gate to the cemetery is composed of stone piers, metal fencing and gate, and metal signage that reads 'Hillcrest Cemetery Norval.' The cemetery is composed of grave markers that date from the early 19th century to present and are a mixture of marble and granite markers. The property contains a small building called the 'The Lodge.' The building is a one storey structure with a gable roof with asphalt shingles and a brick chimney. The structure is clad in stone and windows and doors have stone lintels and sills. The front (west) façade has a projecting gabled entrance with wood supports on stone clad piers. The front gable peak has a '1954' date stone. The building has wood doors, 6/6 wood windows, and fixed multi-pane wood windows. The property has winding gravel laneways and mature deciduous and coniferous trees.

<b>Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06</b>	<b>Yes</b>	<b>No</b>
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓	
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.	✓	
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.	✓	
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓	
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.	✓	
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** Hillcrest Cemetery was established in 1839 by Trustees of the Presbyterian Church. Additional land was purchased in 1862, 1889, and 1909 as the cemetery was expanded. The property is directly associated with the Presbyterian Church in the community of Norval and has the potential to yield information about early Presbyterian members of Norval who are buried within the cemetery. A frame building was initially built on the north end of the property for use as a Presbyterian meeting house. In 1879, the Norval Presbyterian Church a brick structure was constructed at 499 Guelph Street. The frame building was later removed. The Lodge building is representative of a mid-20<sup>th</sup> century Ontario vernacular cemetery building. The cemetery supports the early 19<sup>th</sup> century rural character of the area, and is physically, visually, and historically linked to its surroundings.

**Identified Heritage Attributes:** Cemetery: Metal gate with stone piers and metal fencing, marble and granite grave markers, winding gravel laneways, and mature coniferous and deciduous trees. The Lodge: one storey structure, gable roof, stone clad exterior, wood doors, wood 6/6 windows and multi-pane windows, brick chimney, '1954' date stone, stone sills and lintels, and projecting gabled entrance with wood supports on stone piers.

**Identification of CHVI:** Yes

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** BHR-3

**Date Completed:** December 12, 2019





**Municipal Address:** 32 Adamson Street South

**Former Township:** Township of Esquesing

**Lot, Concession:** 11, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Cemetery

**Associated Dates:** 1838

**Relationship to Project:** Within the Study Area

**Description:** The property contains the Saint Paul's Anglican Pioneer Cemetery. The cemetery is Listed on the Town of Halton Hills Heritage Register.

Burials in the cemetery date from the mid-19th century to the early 20th century. The cemetery includes stone and granite grave markers. It also contains a plaque that was erected by the Norval Community Association in 2007, recognizing the history of on the cemetery and its connection to General Peter Adamson. The cemetery is set on a hillside and is separated from the adjacent Hillcrest Cemetery by metal fencing and a metal gate.



Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.		✓
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.	✓	
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.	✓	
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓	
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.	✓	
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** The development of the Saint Paul's Anglican Pioneer Cemetery dates to 1838, when General Peter Adamson donated land for the church and cemetery. The cemetery is directly associated with Adamson, an early influential settler to the community of Norval. Adamson was born in Dundee, Scotland in 1779. He served in the British and Portuguese armies prior to arriving in Upper Canada in 1817. For his considerable military service, Adamson was granted in excess of 2000-acres in the Counties of Peel and Halton, including 700-acres in the Norval area. The cemetery has the potential to yield information that contributes to the Anglican community and its members in Norval. The cemetery supports the mid-19<sup>th</sup> century rural character of the community of Norval, and is physically, visually, and historically linked to its surroundings.

**Identified Heritage Attributes:** Cemetery: stone and granite grave markers, and Saint Paul's Anglican Pioneer Cemetery plaque.

**Identification of CHVI:** Yes

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** BHR-4

**Date Completed:** December 12, 2019





**Municipal Address:** 35 Adamson Street South

**Former Township:** Township of Esquesing

**Lot, Concession:** 11, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Residence

**Associated Dates:** 1943-1954

**Relationship to Project:** Within the Study Area

Description: The property contains a residence and a garage. The residence is a two-storey structure with a medium-pitched side gable roof with asphalt shingles and a brick chimney. The residence is clad in vinyl siding and has modern windows and doors. The front (east) façade has a partial covered wood porch with a shed roof. The structure has a one storey rear addition with a gable roof that has a brick chimney. The residence has a concrete foundation. The detached garage is a one storey structure with a gable roof that is clad with metal. The structure is clad with vinyl siding.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.		✓
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.		✓
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.		✓
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** N/A

**Identified Heritage Attributes:** None identified

**Identification of CHVI:** No

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** N/A

**Date Completed:** December 12, 2019





**Municipal Address:** 16469 10 Side Road

**Former Township:** Township of Esquesing

**Lot, Concession:** 11, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Farmstead

**Associated Dates:** 1881-1900

**Relationship to Project:** Within the Study Area

**Description:** The property contains a farmstead. The residence, barn, and outbuildings are set far back from the roadway off a long gravel driveway. There is also access to the property by way of a laneway off Green Street, with a wood sign for 'The Russell Farm, No. 15.'





The residence is a one- and one-half storey structure with a high-pitched cross gable roof with three brick chimneys. The roofline has two medium-pitched gabled dormers. The residence has a red brick exterior. The structure has a one storey shed roof addition.

The timber frame barn has a cross-gable roof that is clad with tin and has two gabled dormers and metal finials. The structure has a stone foundation. The property has several outbuildings each with a gable roof that are clad in metal. The north hillside of the property has mature coniferous trees known as "Russell's Pines." The property also has wheat fields.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓	
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.	✓	
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓	
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** The construction of this farmstead dates between 1881 and 1900, following the purchase of the property in 1881 by William Russell. The residence, barn, and outbuildings are representative of late 19<sup>th</sup> century Ontario vernacular structures. The property is directly associated with the Russell family. The Russell family were friends of Lucy Maud Montgomery and her husband Reverend Ewan Macdonald. Montgomery would write on the hillside within the “Russell Pines.” The property supports the late 19<sup>th</sup> century rural character of the area.

**Identified Heritage Attributes:** Residence: one- and one-half storey structure, high-pitched cross gable roof, medium-pitched gabled dormers, red brick chimneys, and red brick exterior. Barn: timber frame structure, cross gable roof, tin roof, metal finials, gabled dormers, and stone foundation. Outbuildings: wood structures and gable roofs. Property: Russell’s Pines and laneway.

**Identification of CHVI:** Yes

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** CHL-2

**Date Completed:** December 12, 2019





**Municipal Address:** 9 Green Street

**Former Township:** Township of Esquesing

**Lot, Concession:** 11, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Residence

**Associated Dates:** 1877-1909

**Relationship to Project:** Within the Study Area

**Description:** The property contains a residence. The property is listed on the Town of Halton Hills Heritage Register.

The residence is a two- and one-half storey structure with a medium-pitched side gable roof with asphalt shingles. The structure is clad in modern vinyl siding. The front (north) façade has a full width covered wood porch with a central entrance. The structure has modern windows and doors. The residence has a rear one storey shed roof addition. The structure has a stone foundation. The property has mature spruce trees.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓	
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.	✓	
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓	
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.	✓	
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** The construction of this residence dates between 1877 and 1909, determined through historic and topographic mapping. The residence is representative of a late 19<sup>th</sup> to early 20<sup>th</sup> century Ontario vernacular structure. The property is associated with the Russell Family, who owned the farm at 16469 10 Side Road. The property supports the late 19<sup>th</sup> century to early 20<sup>th</sup> century rural character of the community of Norval. The residence is historically linked to the Russell Farm off 10 Side Road.

**Identified Heritage Attributes:** Residence: two- and one-half storey structure, medium-pitched side gable roof, and stone foundation.

**Identification of CHVI:** Yes



**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** BHR-5

**Date Completed:** December 12, 2019







**Municipal Address:** 507 King Street

**Former Township:** Township of Esquesing

**Lot, Concession:** 11, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Residence

**Associated Dates:** 1915-1918

**Relationship to Project:** Within the Study Area

**Description:** The property contains a residence. The residence is a one- and one-half storey structure with medium-pitched cross gable roof that is clad in asphalt shingles and has a brick chimney. The front (east) façade has a shed dormer. The structure has a red brick exterior that has been painted white. The majority of the windows are modern, except for a set of wood 3 by 3 windows. The windows are not original to the porch, as it was enclosed between 2011 and 2016 according to Google Streetview. The main brick residence has a rusticated stone foundation, and rusticated stone sills, and stone lintels. The porch at the north end has a concrete foundation. The enclosed porch is clad with modern siding. The south end of the structure has an attached single-car garage addition with an upper storey. The addition is clad in modern siding. The property has mature spruce trees.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓	
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.		✓
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓	
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** The construction of this residence dates between 1915 and 1918, determined through topographic mapping. The residence is representative of an early 20<sup>th</sup> century Ontario vernacular structure. The residence supports the early 20<sup>th</sup> century rural character of the community of Norval.

**Identified Heritage Attributes:** Residence: one- and one-half storey structure, medium-pitched cross gable roof, shed dormer, red brick chimney, red brick exterior, rusticated stone sills, stone lintels, and rusticated stone foundation. Property: mature spruce trees.

**Identification of CHVI:** Yes



**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** CHL-3

**Date Completed:** December 12, 2019





**Municipal Address:** 506 Guelph Street (Highway 7)

**Former Township:** Township of Esquesing

**Lot, Concession:** 11, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Residence

**Associated Dates:** 1900-1920

**Relationship to Project:** Within the Study Area



**Description:** The property contains a residence. The property is Listed on the Town of Halton Hills Heritage Register. The residence is set back from the roadway with a looped laneway. The view of the residence is obstructed by vegetation.

The residence is a two- and one-half storey structure with a high-pitched front facing gable roof and brick chimney. The west elevation has a medium-pitched hip dormer. The structure has a brick exterior. The west elevation has a two-storey bay window. The front (north) façade has a covered partial porch with wood supports on brick piers. The structure has modern windows and a concrete foundation. The property has mature coniferous trees.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓	
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.	✓	
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓	
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓



**Draft Statement of Cultural Heritage Value or Interest:** The construction of this residence dates between 1900 and 1920, determined through local historical sources and its construction materials and style. The residence is representative of an early 20<sup>th</sup> century Edwardian architectural style structure.

The property is associated with the Gallop family. It was constructed in the early 1900s by Dr. Benjamin Gollop, a dentist in the community. He later sold the residence to his brother George Gallop. The property supports the early 20<sup>th</sup> century rural character of the community of Norval.

**Identified Heritage Attributes:** Residence: two- and one-half storey structure, high-pitched front facing gable roof, medium-pitched hip roof dormer, brick exterior, two storey bay windows, and covered partial porch with wood supports on brick piers. Property: mature coniferous trees.

**Identification of CHVI:** Yes

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** CHL-4

**Date Completed:** December 12, 2019





**Municipal Address:** 504 Guelph Street (Highway 7)

**Former Township:** Township of Esquesing

**Lot, Concession:** 11, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Commercial Building

**Associated Dates:** 1950-1963

**Relationship to Project:** Within the Study Area

**Description:** The property contains a commercial building. The commercial building is a two-storey structure with a flat roof. It has a red brick exterior, with modern metal windows and doors. The front (north) façade has a projecting entrance with a flat roof. The foundation of the structure is not visible from the roadway.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.		✓
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.		✓
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.		✓
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** N/A

**Identified Heritage Attributes:** None identified

**Identification of CHVI:** No

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** N/A

**Date Completed:** December 12, 2019





**Municipal Address:** 500 Guelph Street (Highway 7)

**Former Township:** Township of Esquesing

**Lot, Concession:** 11, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Commercial building

**Associated Dates:** 1940-1960

**Relationship to Project:** Within the Study Area

**Description:** The property contains a commercial building and a garage. The commercial building is a one storey structure with a medium-pitched side gable roof with asphalt shingles and a brick chimney. The structure is clad in brick, faux stone, and metal siding. The front (north) façade has a covered partial porch that is clad with faux stone. The structure has a concrete block foundation. To the rear of the commercial building is a detached single-car garage with a side gable roof.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.		✓
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.		✓
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.		✓
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** N/A

**Identified Heritage Attributes:** None identified

**Identification of CHVI:** No

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** N/A

**Date Completed:** December 12, 2019







**Municipal Address:** 498 Guelph Street (Highway 7)

**Former Township:** Township of Esquesing

**Lot, Concession:** 11, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Residence

**Associated Dates:** 1900-1909

**Relationship to Project:** Within the Study Area

**Description:** The property contains a residence, garage, and outbuilding. The property is Listed on the Town of Halton Hills Heritage Register.



The residence is a two- and one-half storey structure with a medium-pitched hip roof with asphalt shingles, and a brick chimney. The roofline has medium-pitched gabled dormers on its north, west, and east elevations. The residence has a red brick exterior. The front (north) façade has a full width covered wood porch with wood columns on brick and rusticated stone piers. The residence has modern windows with rusticated stone sill and stone lintels. The structure has a rear one storey addition with an upper covered balcony. The residence has a rusticated stone foundation.

To the rear of the residence is a detached single-car garage with a gable roof. The garage is clad in wood board and batten siding. Adjacent to the garage is a small outbuilding with a gable roof and wood board and batten cladding. The property contains mature spruce trees and ornamental gardens.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓	
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.	✓	
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓	
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** The construction of this residence dates between 1900 and 1909 determined through topographic mapping and construction materials. The residence is representative of an early 20<sup>th</sup> century Edwardian architectural style structure. The residence is directly associated with the religious history of Norval, it was constructed as the St. Paul's Anglican Rectory. The residence supports the early 20<sup>th</sup> century rural character of the community of Norval.

**Identified Heritage Attributes:** Residence: two- and one-half storey structure, medium-pitched hip roof, medium-pitched hip dormers, red brick exterior, full-width covered wood porch with brick and rusticated stone piers, rusticated stone sills, stone lintels, and rusticated stone foundation. Property: mature spruce trees.

**Identification of CHVI:** Yes

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** CHL-5

**Date Completed:** December 12, 2019





**Municipal Address:** 494 Guelph Street (Highway 7)

**Former Township:** Township of Esquesing

**Lot, Concession:** 11, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Residence

**Associated Dates:** 1940-1960

**Relationship to Project:** Within the Study Area

**Description:** The property contains a residence and a garage.

The residence is a one storey structure with a low-pitched hip roof with asphalt shingles and a brick chimney. The structure is clad in brick and faux stone. The exterior has modern doors and windows. The residence has a concrete foundation. To the rear of the residence is a detached single-car garage with a hip roof. The property contains two mature blue spruce trees.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.		✓
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.		✓
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.		✓
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** N/A

**Identified Heritage Attributes:** None identified

**Identification of CHVI:** No

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** N/A

**Date Completed:** December 12, 2019







**Municipal Address:** 492 Guelph Street (Highway 7)

**Former Township:** Township of Esquesing

**Lot, Concession:** 11, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Commercial Buildings

**Associated Dates:** 1900-1920 (former residence); 1950-1980 (auto body shop)

**Relationship to Project:** Within the Study Area

**Description:** The property contains commercial buildings. The former residence has been heavily modified for commercial office purposes.



The former residence is a one- and one-half storey structure with a low-pitched front facing gable roof clad with metal shingles. The front (north) façade has returned eaves. The building has a rectangular plan. The structure is clad in vinyl siding and has modern windows and doors. The front façade has an offset entrance with a partial concrete porch with metal railing. The structure has a rear one storey addition with a gable roof. The foundation of the structure is not visible from the roadway.

To the rear of the residence is an auto body shop. The shop is two storey structure with a flat roof. The building is a concrete block structure with stucco cladding. The building has metal rolling doors. In front of the shop is a separate one storey office building with a flat roof. The structure is clad with stucco and has modern metal windows and doors.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.		✓
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.		✓
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.		✓
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** N/A

**Identified Heritage Attributes:** None identified

**Identification of CHVI:** No

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** N/A

**Date Completed:** December 12, 2019





**Municipal Address:** 486 Guelph Street (Highway 7)

**Former Township:** Township of Esquesing

**Lot, Concession:** 11, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Church

**Associated Dates:** 1889

**Relationship to Project:** Within the Study Area

**Description:** The property contains the Norval United Church. The property is Listed on the Town of Halton Hills Heritage Register.

The church is a two-storey structure with a front facing gable roof with asphalt shingles. The front (north) and rear (south) elevations have brick parapets with metal fascia. The front gable peak includes the bell tower with a pointed arch wood louvred window within a pointed arched brick surround. The church has a red brick exterior. The corners and separated bays of the structure have buttresses with concrete parging. The front façade has a projecting gabled entrance with a concrete triangular parapet. The double wood entrance doors are set within a pointed arched surround. The projecting entrance has brick buttresses with concrete cladding. The second storey of the front façade has pointed arched leaded glass windows with pointed arched brick surrounds with brick

label stops. Around the exterior first storey windows are set within wood segmental frames and have brick voussoirs. The second storey has wood 1/1 pointed arched windows within pointed arched wood surrounds. The windows have brick pointed arch brick surrounds with brick label stops. All windows have concrete sills. The structure has a stone foundation.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓	
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	✓	
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.	✓	
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓	
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.	✓	
9. The property has contextual value because it is a landmark.	✓	

**Draft Statement of Cultural Heritage Value or Interest:** The construction of the Norval United church dates to 1889. The church is representative of a late 19<sup>th</sup> century Gothic Revival architectural styled church, see through its pointed arched windows, buttresses, and emphasis on height. The church displays a high degree of craftsmanship through its brick buttresses, parapets, and leaded glass windows.



The church is directly associated with the development of Methodism in the community of Norval. Methodists in Norval purchased property from Alexander McNab in the early 1850s for the construction of a church. In 1853, a brick church was constructed on the property. In 1889, when the church was in disrepair and a bee was held to tear down the church and construct a new brick structure. The new Gothic Revival styled brick church opened in January 1890. In 1925, the church became part of the United Church of Canada.

The Norval United Church supports and maintains the late 19<sup>th</sup> century rural character of the community of Norval. It is physically, visually, and historically linked to the community, and is a local landmark along Guelph Street (Highway 7).

**Identified Heritage Attributes:** Norval United Church: two storey structure, front facing gable roof, brick parapets, bell tower with pointed arched wood louvred window, red brick exterior, red brick buttresses with concrete parging, projecting gabled entrance with triangular concrete parapet, double wood doors, leaded glass pointed arched windows, pointed arched brick surrounds with brick label stops, wood segmental window surrounds, wood 1/1 pointed arched windows within wood surrounds, and stone foundation.

**Identification of CHVI:** Yes

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** BHR-6

**Date Completed:** December 12, 2019





**Municipal Address:** 484 Guelph Street (Highway 7)

**Former Township:** Township of Esquesing

**Lot, Concession:** 11 and 12, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Residence

**Associated Dates:** 1860-1900

**Relationship to Project:** Within the Study Area

**Description:** The property contains a residence and a garage. The property is Listed on the Town of Halton Hills Heritage Register.

The residence is a one- and one-half storey structure with a medium-pitched side gable roof with cedar shake shingles and a red brick chimney. The front (north) façade has a central gable peak with wood vergeboard. The residence has a red brick exterior. The three-bay front façade has a central entrance with a covered partial porch that has a gabled roof with cedar shake shingles. The porch is composed of a stone base and steps with wood columns and wood pediment with wood fish-scale shingles. The exterior has modern windows set within wood segmental frames with brick voussoirs, and wood sills. The front façade gable peak has a semi-circular window frame. The residence has a T-shaped plan with a rear one- and one-half storey rear section. The

west and east elevations of the rear wing have gable peaks with wood vergeboard. The west elevation gable peak retains its original semi-circular wood window. The west elevation has a one storey shed roof addition. The residence has a stone foundation. To the rear of the residence is a detached single-car garage.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓	
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.	✓	
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓	
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** The construction of this residence dates between 1860 and 1900 determined through its construction materials and architectural style. The residence is representative of a mid- to late 19<sup>th</sup> century Gothic Revival architectural styled structure. The property is directly associated with Robert Leslie (1846-1934), a prominent residence in Norval. The property supports the mid- to late 19<sup>th</sup> century rural character of the community of Norval.

**Identified Heritage Attributes:** Residence: one and one half storey structure, medium-pitched side gable roof, cedar shake shingles, red brick chimney, three-bay (front) façade with central entrance, gable peaks with wood vergeboard, gabled wood entrance porch with cedar shake shingles, wood columns, wood pediment, wood fish-scale shingles, and stone base, wood segmental and semi-circular window frames, brick voussoirs, wood sills, wood semi-circular window, T-shaped plan, and stone foundation.

**Identification of CHVI:** Yes

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** BHR-7

**Date Completed:** December 12, 2019





**Municipal Address:** 482 Guelph Street (Highway 7)

**Former Township:** Township of Esquesing

**Lot, Concession:** 12, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Residence

**Associated Dates:** 1940-1950

**Relationship to Project:** Within the Study Area

**Description:** The property contains a residence. The property is Listed on the Town of Halton Hills Heritage Register.

The residence is a one storey structure with a low-pitched hip roof with asphalt shingles and a brick chimney. The roofline has wide eaves. The structure has a brick exterior with modern windows and doors. The residence has a concrete block foundation. The east elevation has a one storey addition that is clad in wood board and batten.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓	
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.	✓	
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓	
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** Construction of this residence dates to the 1940s. It is representative of a mid-20<sup>th</sup> century Ontario vernacular structure. The residence is directly associated with the Switzer family, who were a pioneer family in the Township of Esquesing. The residence supports the mid-20<sup>th</sup> century rural character of the community of Norval.

**Identified Heritage Attributes:** Residence: one storey structure, and low-pitched hip roof, brick chimney, and brick exterior.

**Identification of CHVI:** Yes

**Completed by (Name):** Laura Walter





**Cultural Heritage Resource Number: BHR-8**

**Date Completed:** December 12, 2019





**Municipal Address:** 480 Guelph Street (Highway 7)

**Former Township:** Township of Esquesing

**Lot, Concession:** 12, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Residence

**Associated Dates:** 1850-1880

**Relationship to Project:** Within the Study Area

**Description:** The property contains a residence. The property is Listed on the Town of Halton Hills Heritage Register.

The residence is a one- and one-half storey structure with a medium-pitched cross gable roof with tin cladding and a concrete clad chimney. The structure is clad in aluminum siding and has modern windows and doors. The three-bay front (north) façade has a central entrance with a covered partial porch. The porch is composed of a stone base and steps, wood columns, and hip roof with cedar shake shingles. The structure has an L-shaped plan with a rear one- and one-half storey wing. The residence has a stone foundation.



The front of the property is bordered in decorative metal fencing that is painted white and has an entry gate.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓	
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.	✓	
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓	
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** The construction of this residence dates between 1850 and 1880, determined through its construction materials and architectural style. The residence is representative of a mid- to late 19<sup>th</sup> century Ontario vernacular structure. The property is directly associated with Andrew McClure an early resident in the community of Norval. The property supports the mid- to late 19<sup>th</sup> century rural character of the community of Norval.

**Identified Heritage Attributes:** Residence: one- and one-half storey structure, medium-pitched cross gable roof, tin cladding, T-shaped plan, three-bay front (north) façade, and stone foundation.

**Identification of CHVI:** Yes

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** BHR-9

**Date Completed:** December 12, 2019





Municipal Address: 473 Guelph Street (Highway 7)

Former Township: Township of Esquesing

Lot, Concession: 12, 11

Municipality: Town of Halton Hills

Resource Type: Residence

Associated Dates: 1850-1880

Relationship to Project: Within the Study Area

Description: The property contains a residence. The property is Listed on the Town of Halton Hills Heritage Register.

The residence is a one- and one-half storey structure with a medium-pitched cross gable roof with tin cladding and a concrete clad chimney. The structure is clad in aluminum siding and has modern windows and doors. The three-bay front (north) façade has a central entrance with a covered partial porch. The porch is composed of a stone base and steps, wood columns, and hip roof with cedar shake shingles. The structure has an L-shaped plan with a rear one- and one-half storey wing. The residence has a stone foundation.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓	
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.	✓	
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓	
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** The construction of this residence dates between 1850 and 1880, determined through its construction materials and architectural style. The residence is representative of a mid- to late 19<sup>th</sup> century Ontario vernacular structure. The property is directly associated with Andrew McClure an early resident in the community of Norval. The property supports the mid- to late 19<sup>th</sup> century rural character of the community of Norval.

**Identified Heritage Attributes:** Residence: one- and one-half storey structure, medium-pitched cross gable roof, tin cladding, T-shaped plan, three-bay front (north) façade, and stone foundation.

**Identification of CHVI:** Yes





**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** BHR-10

**Date Completed:** December 12, 2019





**Municipal Address:** 475 Guelph Street (Highway 7)

**Former Township:** Township of Esquesing

**Lot, Concession:** 12, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Residence

**Associated Dates:** 1850-1860

**Relationship to Project:** Outside the Study Area

**Description:** The property contains a residence. The property is Designated on the Town of Halton Hills Heritage Register. It is known as Lilac Lawns.

The residence is a one- and one-half storey structure with a medium-pitched side gable roof with asphalt shingles and bookend chimneys. The west end chimney is concrete block, while the east end chimney is red brick. The roofline has a returned eaves. The residence has a red brick exterior. The entablature on the front (south) façade has a band of wood dentils. The five-bay front façade is symmetrical with a central entrance. The entrance is inset with a wood half glass door, leaded glass transom, and wood side panels. Exterior windows are wood 6/6 double hung windows. The lower storey windows have stone Jack arches. The west elevation has a covered partial porch with

wood columns on brick piers. The structure has a rear kitchen tail. The residence has a rubble stone foundation.

The property contains mature lilac trees that are over 100 years old. The front walkway has a wood picket fence gate.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓	
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	✓	
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.	✓	
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓	
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓

**Statement of Cultural Heritage Value or Interest:** This two-storey classical revival house is one of the very few of this architectural style existing in Halton Hills. Its location on what is still the Main Street, contributes significantly to the historical character of the street scape of which it is a part. This 140-year-old pre-confederation home is in remarkably fine condition and despite periodic renovations, the exterior retains its

original integrity. The natural heritage of the house is highlighted by the lilac trees which still stand after 128 years along the front of the house (Town of Halton Hills 1996).

**Identified Heritage Attributes:** Residence: floorboards of white pine from Equesing, original flooring (except in kitchen), four double-hung windows, wide windowsills, south-eastern bedroom ceiling with original smooth plaster lathe, original door on the downstairs bathroom, interior, chimneys, and original stone foundation (Town of Halton Hills 2008). Landscape: Lilac trees (Town of Halton Hills 1996).

**Identification of CHVI:** Yes

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** CHL-6

**Date Completed:** December 12, 2019





**Municipal Address:** 479 Guelph Street (Highway 7)

**Former Township:** Township of Esquesing

**Lot, Concession:** 12, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Daycare centre and garden

**Associated Dates:** 1953 (former school)/2016 (Garden)

**Relationship to Project:** Outside the Study Area



**Description:** The property contains a daycare centre and garden. The property is Listed on the Town of Halton Hills Heritage Register. Known as the Former Norval School and Lucy Maud Montgomery Children's Garden of the Senses.

The former school is a one storey structure with a flat roof. The building is clad in metal and brick. It has modern windows and a concrete foundation.

The ornamental garden surrounding the former school is dedicated to Lucy Maud Montgomery and honours her writings about gardens and landscapes in which she described in a sensory way. Since the garden was completed in 2016, it includes over 400 varieties of plants (Lucy Maud Montgomery Children's Garden of the Senses n.d.). The garden also includes trails, a welcome kiosk, gazebo, old school bell, Analemmatic sundial, vertical sundial, log table and stools, wall with bird houses, log bench, sand box, planter boxes, picnic tables, metal and stone benches, garden signage, bronze statue of "Story Girl," Lucy Maud Montgomery stone and plaque, and veterans' plaque. Adjacent to the east side of the former school is a playground.

The west side of the property also includes a line of mature Norway spruce trees.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓	
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.	✓	
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓



Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	✓	
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓	
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.	✓	
9. The property has contextual value because it is a landmark.	✓	

**Draft Statement of Cultural Heritage Value or Interest:** The construction of this school dates to 1953, determined through local history sources. The former school is representative of a mid-20<sup>th</sup> century Ontario vernacular structure. The property is directly associated with Lucy Maud Montgomery an influential Canadian author who lived in community of Norval between 1926 and 1935. The garden was established in 2016 and is reflects the writings and ideas of Montgomery. The property supports the mid-20<sup>th</sup> century rural character of the community of Norval.

**Identified Heritage Attributes:** Former school: one storey structure, flat roof, and brick and metal cladding. Landscape: ornamental gardens, old school bell, and line of mature Norway spruce trees.

**Identification of CHVI:** Yes

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** CHL-7

**Date Completed:** December 12, 2019





**Municipal Address:** 485 Guelph Street (Highway 7)

**Former Township:** Township of Esquesing

**Lot, Concession:** 12, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Residence

**Associated Dates:** 1900-1909

**Relationship to Project:** Outside the Study Area

**Description:** The property contains a residence. The property is Listed on the Town of Halton Hills Heritage Register. It is known as the George Day House.

The residence is a two-storey structure with a medium-pitched hip roof with asphalt shingles. The front (south) façade has a central gabled dormer clad with modern siding. The structure has a red brick exterior with modern double-hung windows. The symmetrical three-bay front façade has a full-width covered wood porch with wood supports on brick piers. The residence has a central entrance. Second storey windows have concrete sills and lintels. The west elevation has a covered partial porch. The residence has a concrete foundation.

The east side of the property has mature Norway spruce trees.



Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓	
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.	✓	
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓	
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** The construction of this residence dates between 1900 and 1909, determined through its topographic mapping and its architectural style. The residence is representative of an early 20<sup>th</sup> century Ontario Edwardian style structure, seen through its smooth red brick exterior, hip roof, and concrete sills and lintels. The property is directly associated with George Day, a blacksmith in the community of Norval. The property supports the early 20<sup>th</sup> century rural character of the community of Norval.

**Identified Heritage Attributes:** Residence: two storey structure, medium-pitched hip roof, gabled dormer, red brick exterior, symmetrical three-bay front façade with central

entrance, full-width front porch with wood supports on brick piers, and concrete sills and lintels. Landscape: mature Norway spruce trees.

**Identification of CHVI:** Yes

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** CHL-8

**Date Completed:** December 12, 2019





**Municipal Address:** 399 Draper Street

**Former Township:** Township of Esquesing

**Lot, Concession:** 11 and 12, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Residence

**Associated Dates:** ca. 1840

**Relationship to Project:** Outside the Study Area

**Description:** The property contains a residence. The property is Designated on the Town of Halton Hills Heritage Register under 401 Draper Street. It is known as the Forbes House.

The residence is a two-storey frame structure with a medium-pitched side gable roof with asphalt shingles and bookend red brick chimneys. The roofline has returned eaves. The structure is clad in horizontal wood lap siding and has 2/2 wood sash windows within wood frames. The three-bay front (east) façade has a central entrance with a modern steel entry door. The entrance has a covered gabled wood entry porch on a concrete block foundation. The structure has a concrete block foundation that was added in the 1950s. The house formerly faced onto Guelph Street (Highway 7) until the

early 1950s, when it was jacked up and turned to face Draper Street. The foundation is supported by large round log beams.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓	
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.	✓	
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓	
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.	✓	
9. The property has contextual value because it is a landmark.	✓	

**Statement of Cultural Heritage Value or Interest:** This building is of cultural heritage value as an excellent example of a simple village home in the early to mid-19th century. As one of the oldest structures in the Hamlet of Norval it contributes to the historical streetscape of the village and is important in maintaining the historical context of other landmark properties on Draper Street. As the former British Hotel, it points to the importance of Norval as a stopover for the 19th Century traveller using the Toronto-Guelph Road (Town of Halton Hills 2014).



**Identified Heritage Attributes:** Residence: a construction date of circa 1840, used as a hotel from circa 1857 until circa 1888, a stopover on the Toronto-Guelph Road, association with the Forster family (owned 1853-1857 by the grandparents of renowned Canadian portraitist and Norval native, J. W. L. Forster), association with Major (Dr.) Armitage Lytton Forbes, loved and respected Norval resident, who served with the Royal Army Medical Corps in WWI and WWII, excellent example of a plain, 2 storey, 3 bay vernacular village home, shallow side-gable roof with shingled gable ends and prominent eaves returns, one original 6 over 6 window (North elevation, upstairs), wooden lap siding and original rear entrance door, and a Norval landmark, that is one of the oldest structures in the village proper (Town of Halton Hills 2014)

**Identification of CHVI:** Yes

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** BHR-11

**Date Completed:** December 12, 2019





**Municipal Address:** 401 Draper Street

**Former Township:** Township of Esquesing

**Lot, Concession:** 12, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Residence

**Associated Dates:** 1850-1880

**Relationship to Project:** Outside the Study Area

**Description:** The property contains a residence. The property is Listed on the Town of Halton Hills Heritage Register.

The residence is a one- and one-half storey structure with a medium-pitched side gable roof with asphalt shingles and a central red brick chimney. The residence has a salt box side. The structure is clad in vinyl siding and has wood frame windows. The front (east) façade has an enclosed full-width porch with hip roof and asphalt shingles. The porch is symmetrical with a central entrance. The residence has a stone foundation.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓	
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.		✓
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓	
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** The construction of this residence dates between 1850 and 1880, determined through its construction materials and architectural style. The residence is representative of a mid- to late 19<sup>th</sup> century Ontario vernacular structure. The property supports the mid- to late 19<sup>th</sup> century rural character of the community of Norval.

**Identified Heritage Attributes:** Residence: one- and one-half storey structure, medium-pitched side gable roof, red brick chimney, salt box side, wood frame windows, enclosed full-width front (east) porch, and stone foundation.

**Identification of CHVI:** Yes



**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** BHR-12

**Date Completed:** December 12, 2019





**Municipal Address:** 404 Draper Street

**Former Township:** Township of Esquesing

**Lot, Concession:** 12, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Residence

**Associated Dates:** ca. 1840

**Relationship to Project:** Outside the Study Area

**Description:** The property contains a residence. The property is Designated on the Town of Halton Hills Heritage Register with the adjacent 402 Draper Street. It is known as the Norval Presbyterian Caretaker's Cottage.

The residence is a one- and one-half storey structure with a low-pitched side gable roof with asphalt shingles. The structure has a salt box side. The exterior is clad in insulbrick and has 2/2 wood sash windows. The three-bay front (west) façade has a central entrance with a full-width covered concrete porch with wood supports. The structure has a rubble stone foundation.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓	
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.	✓	
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓	
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.	✓	
9. The property has contextual value because it is a landmark.		✓

**Statement of Cultural Heritage Value or Interest:** The design or physical value of the properties is reflected in the 1888 two-storey neo-Italianate red brick Manse and the many original aspects of the interior of the house. The simple c. 1840 frame 1½ storey cottage is in contrast to the Manse design.

The historical and associative value of these properties is at two extremes. The caretaker's cottage reflects the early residents of the evolving pioneer village of Norval and the succeeding caretakers of the property. The value of the Manse is two-fold. It reflects the long association with the congregation of the Norval and Union Presbyterian Churches, its Ministers and its use by the community for many events attended by the public. Secondly, its value reaches an international status because it was the residence



of L. M. Montgomery, one of Canada's most famous fictional authors, who also wrote her journals about the Manse, the community, and daily life in that era.

The Manse has contextual value in its setting next to the soaring spire of the Norval Presbyterian Church, its relationship to the Credit River and its coup d'oeil of the surrounding hillside, which includes "Russell's Hill of Pines", as described by L.M. Montgomery. The cottage is set in contrast to the large Manse but then blends perfectly into the rest of Draper Street as a simple home.

(Town of Halton Hills 2017)

**Identified Heritage Attributes:** Caretaker's Cottage c. 1840 (Town of Halton Hills 2017).

**Identification of CHVI:** Yes

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** BHR-13

**Date Completed:** December 12, 2019





**Municipal Address:** 402 Draper Street

**Former Township:** Township of Esquesing

**Lot, Concession:** 12, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Residence

**Associated Dates:** 1888

**Relationship to Project:** Outside the Study Area

**Description:** The property contains a residence. The property is Designated on the Town of Halton Hills Heritage Register. It is known as the Norval Presbyterian Manse.

The residence is a two-storey structure with a medium-pitched hip roof with asphalt shingles and a red brick chimney. The structure has a wide eaves with decorative wood brackets. The structure has a red brick exterior. The second storey has a raised course of brick with window headers. The asymmetrical front (west) façade has a partial wood porch with an ornate fret and spool roof and corresponding posts. The concrete porch base wraps around to the south elevation. The south elevation has a wider version of the front entry porch. The front entry has a wood transom and sidelights. The front and south elevations have bay windows. The structure has a raised brick plinth foundation. The property has a laneway.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓	
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	✓	
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.	✓	
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	✓	
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓	
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓

**Statement of Cultural Heritage Value or Interest:** The design or physical value of the properties is reflected in the 1888 two-storey neo-Italianate red brick Manse and the many original aspects of the interior of the house. The simple c. 1840 frame 1½ storey cottage is in contrast to the Manse design.

The historical and associative value of these properties is at two extremes. The caretaker's cottage reflects the early residents of the evolving pioneer village of Norval and the succeeding caretakers of the property. The value of the Manse is two-fold. It reflects the long association with the congregation of the Norval and Union Presbyterian Churches, its Ministers and its use by the community for many events attended by the public. Secondly, its value reaches an international status because it was the residence

of L. M. Montgomery, one of Canada's most famous fictional authors, who also wrote her journals about the Manse, the community, and daily life in that era.

The Manse has contextual value in its setting next to the soaring spire of the Norval Presbyterian Church, its relationship to the Credit River and its coup d'oeil of the surrounding hillside, which includes "Russell's Hill of Pines", as described by L.M. Montgomery. The cottage is set in contrast to the large Manse but then blends perfectly into the rest of Draper Street as a simple home.

(Town of Halton Hills 2017)

**Identified Heritage Attributes:** Residence: two-storey red brick Manse built in 1888 in the Italianate style with hip roof, two ornate fret and spool porch roofs and corresponding posts, eaves brackets, second storey raised course of bricks with window headers, foundation raised brick plinth, front door with transom and sidelights, original wood trim and mouldings, plaster lamp escutcheons in the front foyer and living room, period hanging lamps in the front foyer, living room, and study, wooden mantle with iron and tile fireplace insert in the living room, back staircase, main staircase with newel posts, railing and spindles; and Caretaker's Cottage c. 1840 (Town of Halton Hills 2017).

**Identification of CHVI:** Yes

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** BHR-14

**Date Completed:** December 12, 2019





**Municipal Address:** 499 Guelph Street (Highway 7)

**Former Township:** Township of Esquesing

**Lot, Concession:** 12, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Church

**Associated Dates:** 1878

**Relationship to Project:** Outside the Study Area

**Description:** The property contains the Norval Presbyterian Church. The property is Listed on the Town of Halton Hills Heritage Register.

The church is two storey structure with a steeply pitched roof clad with asphalt shingles. The church has a central three- and one-half storey tower topped with a spire that is clad in cedar shake shingles and has a finial. Each side of the spire has a steeply pitched gabled dormer with pointed arched wood louvred window and wood carved triquetra. At each corner of the top of the tower are smaller spires set on brick piers and top with finials. The third storey of the tower has narrow wood louvred windows. The church has a red brick exterior with decorative brickwork. The front (south) façade has a central entrance with double wood doors set within a pointed arch brick surround with leaded glass pointed arch transom. Above the entrance door is a date stone that reads,

“Presbyterian Church Erected A.D. 1878.” The exterior has pointed arched leaded glass windows each within a pointed arch brick surround with concrete pointed arch drip mould with label stops. The lower storey has modern windows set with segmental brick voussoirs. The church has a stone foundation.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓	
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	✓	
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.	✓	
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	✓	
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓	
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.	✓	
9. The property has contextual value because it is a landmark.	✓	

**Draft Statement of Cultural Heritage Value or Interest:** The construction of the Norval Presbyterian Church dates to 1878, determined through the front façade date stone. A previous wood frame Presbyterian Church had been constructed in 1839 on the Hillcrest Cemetery property at 38 Adamson Street South, in Norval. When the congregation outgrew the wood frame church, this brick church was constructed in 1878. The Norval Presbyterian Church is representative of a late 19<sup>th</sup> century Gothic



Revival Church. The church displays a high degree of craftsmanship in its spire, woodwork, masonry, and leaded glass windows. The church reflects the work of architect Walter McKay, masonry work of Thomas Maxted, and carpentry work of Peter Laird. McKay was a master carpenter, who developed a business as a builder and architect in Georgetown in 1859. Maxted a Norval resident, also did the masonry work for the adjacent Norval Presbyterian Manse, at 402 Draper Street in 1888. Laird, and his brother James owned a large planing mill in Brampton. The Norval Presbyterian Church has a direct association with the Presbyterian congregation of Norval.

The Norval Presbyterian Church defines the late 19<sup>th</sup> century rural character of Norval, and is physically, visually, and historically linked to the community and adjacent structures. Given its prominent corner location on the main Guelph Street (Highway 7) thoroughfare, the church is a landmark structure in the community of Norval.

**Identified Heritage Attributes:** Church: two storey structure, steeply-pitched fronting facing gable roof, central three and one half storey tower topped with a spire with cedar shake shingles and a finial, steeply-pitched gabled dormers with pointed arch wood louvred windows and wood carved triquetra, smaller spires set on brick piers and topped with finials, narrow wood louvred windows, red brick exterior, decorative brickwork, wood double entry doors within a pointed arch brick surround with a leaded glass transom, pointed arched leaded glass windows each within a pointed arch brick surround, concrete pointed arch drip moulds with label stops, segmental brick voussoirs, date stone, and stone foundation.

**Identification of CHVI:** Yes

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** BHR-15

**Date Completed:** December 12, 2019





**Municipal Address:** 503 Guelph Street (Highway 7)

**Former Township:** Township of Esquesing

**Lot, Concession:** 12, 11

**Municipality:** Town of Halton Hills

**Resource Type:** Residence

**Associated Dates:** ca. 1850

**Relationship to Project:** Outside the Study Area

**Description:** The property contains a residence. The property is Listed on the Town of Halton Hills Heritage Register. It is known as the Gooderham House.

The residence is a one- and one-half storey structure with a medium-pitched side gable roof with asphalt shingles. The roofline has returned eaves. The structure is in horizontal wood siding and has modern windows. The three-bay front (south) façade has a central entrance with modern entry door and wood panelled sidelights. The entrance has a partial wood porch with projecting entry gable and wood panelled columns. The residence has a one storey rear addition. The structure has a stone foundation.

Indicators of Cultural Heritage Value or Interest from O. Reg. 9/06	Yes	No
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	✓	
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.		✓
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.		✓
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity organization or institution that is significant to a community.	✓	
5. The property has historical value or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.		✓
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.		✓
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	✓	
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.		✓
9. The property has contextual value because it is a landmark.		✓

**Draft Statement of Cultural Heritage Value or Interest:** The construction of this residence dates to about 1850, determined through local history sources. The residence is representative of a mid-19<sup>th</sup> century Ontario vernacular structure. The property is directly associated with William Gooderham, whom the residence was constructed for in the mid-19<sup>th</sup> century. At the time, Gooderham was owner and operator of the prominent Toronto distillery firm of Gooderham and Worts. In 1845, Gooderham and Worst took over a 14-year lease of the flour mill in Norval. The property is also associated with the McPherson family, who owned the residence in the early 20<sup>th</sup> century. The property supports the mid-19<sup>th</sup> century rural character of the community of Norval.

**Identified Heritage Attributes:** Residence: one- and one-half storey structure, medium-pitched side gable roof, returned eaves, horizontal wood siding, three-bay front (south) faced, wood panelled sidelights, partial wood porch with projecting entry gable and wood panelled columns, and stone foundation.

**Identification of CHVI:** Yes

**Completed by (Name):** Laura Walter

**Cultural Heritage Resource Number:** BHR-16

**Date Completed:** December 12, 2019

