

HALTON REGION'S PORTFOLIO OF

Assisted Rental Housing Development Opportunities

Shovel-Ready and In Progress Projects

QUARTERLY UPDATE – WINTER 2026



Portfolio of Shovel-Ready and In Progress Projects

Halton Region is helping to reach housing targets by bringing more assisted rental units to our community.

There is opportunity to partner with us to get **shovel-ready properties** built as fast as possible and deliver more units in the future.



Projects continue to move from shovel-ready to in progress as funding is secured.



498
Assisted
37
Supportive

Halton Region has a long and effective history of responding to needs and delivering housing opportunities in our community. Funded by the Region and through strategic partnerships with the Development community, we have **5 projects in progress** that provide various assisted and supportive housing units.

REGIONAL & 3RD PARTY PROJECTS IN PROGRESS



13
Assisted
59
Supportive

Halton Region has recently successfully delivered **6 projects** that provide assisted and supportive housing units to our community through Regional developments, partnership on 3rd party developments, and strategic acquisitions.

COMPLETED PROJECTS



125
Assisted
150
Supportive
53
Emergency
Supportive

Shovel-Ready Development Opportunities



IN PROGRESS PROJECTS

Regional Developments

- 5 Rebecca Street (14 units, total funding: \$10.8M)
- 6 Margaret Drive (13 units, total funding: 11.3M)

3rd Party Developments

- 7 Maria Street (12 units, total funding: \$5.9M)
- 8 Guelph Street (12 units, total funding: \$3.8M)

Regional Acquisitions

- 9 Plains Road West (21 units, total funding: \$8.8M)

COMPLETED PROJECTS

Regional Developments

- 10 Queensway Drive - Modular Units (4 units, total funding: \$503K)
- 11 Kerr Street (52 units, total funding: \$37.3M)

3rd Party Developments

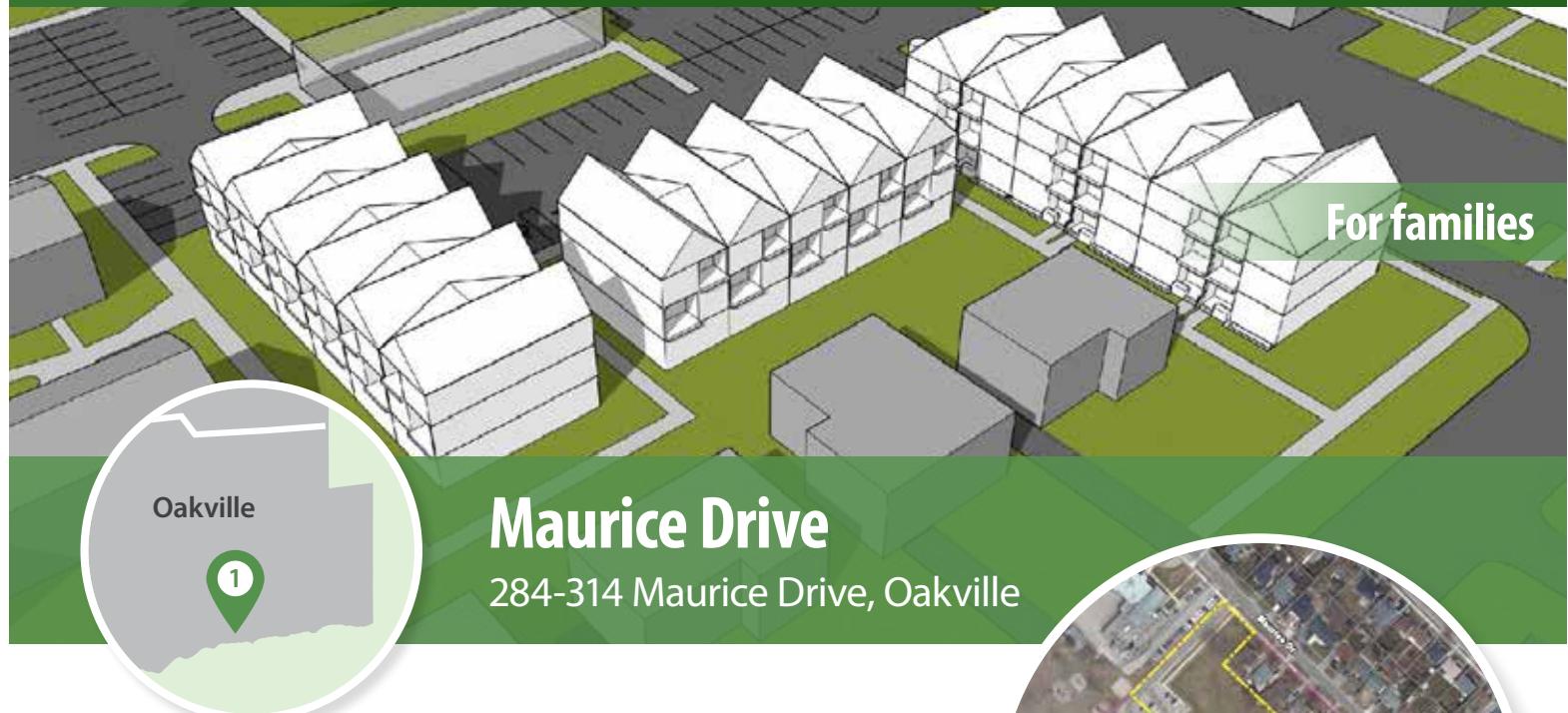
- 12 Old Bronte Road (25 units, total funding: \$6.3M)

Regional Acquisitions

- 13 Queensway Drive (49 units, total funding: \$12.6M)
- 14 Normandy Place (70 units, total funding: \$19M)
- 15 Bethany Residence (128 beds, total funding: \$9.3M)

REGIONAL SHOVEL-READY DEVELOPMENT OPPORTUNITY

Helping to reach housing targets by bringing opportunity for new assisted rental units in the Halton community.



Maurice Drive

284-314 Maurice Drive, Oakville

Building Summary

- 32 units for individuals and families
 - 11 one bedroom units
 - 5 two bedroom units
 - 5 three bedroom units
 - 11 four bedroom units
- Design includes ADUs (additional dwelling units)

Design Features

- Zero Carbon Building Design
- Townhouses

Shovel-ready

- ✓ Zoned
- ✓ Serviced

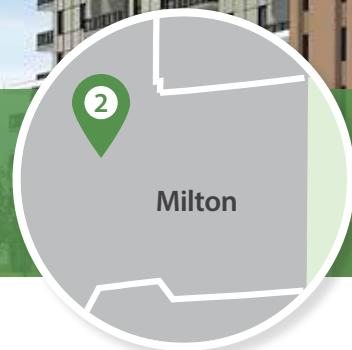


Funding status

- Regional Funding: \$2.5M pre-development
- Estimated cost: \$24M

REGIONAL SHOVEL-READY DEVELOPMENT OPPORTUNITY

Helping to reach housing targets by bringing opportunity for new assisted rental units in the Halton community.



Ontario Street (Allendale)

Building 1, Milton

For seniors

Building Summary

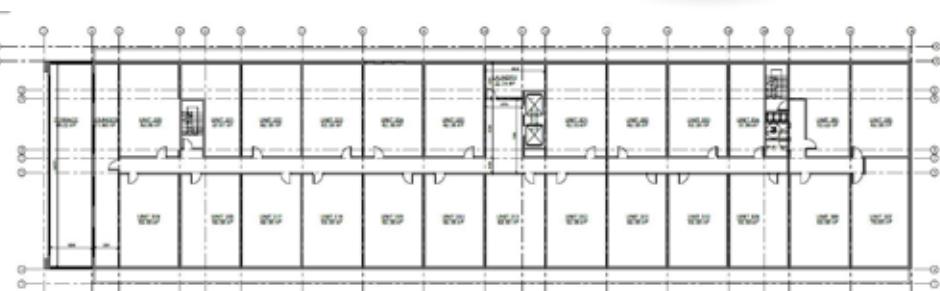
- 200 units for seniors
 - 44 Studios
 - 156 one bedroom units
- Potential for ground floor Community Wellness Hub

Design Features

- Passive House Designed multi-residential building

Shovel-ready

- ✓ Zoned
- ✓ Serviced



Funding status

- Regional funding: \$1.2M pre-development
- Federal funding: \$75K
- Estimated cost: \$150M

REGIONAL SHOVEL-READY DEVELOPMENT OPPORTUNITY

Helping to reach housing targets by bringing opportunity for new assisted rental units in the Halton community.



Ontario Street (Allendale) Buildings 2 & 3, Milton

Building Summary

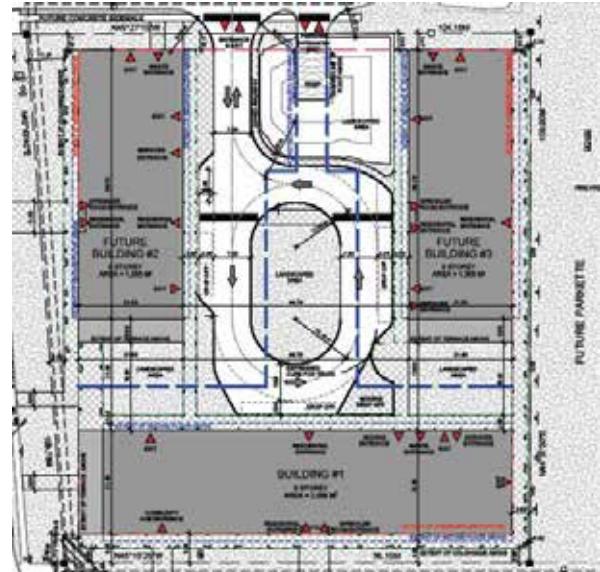
- 266 one bedroom units for seniors
- Potential for ground floor Community Wellness Hub

Design Features

- Passive House Designed multi-residential building

Shovel-ready

- ✓ Zoned
- ✓ Serviced



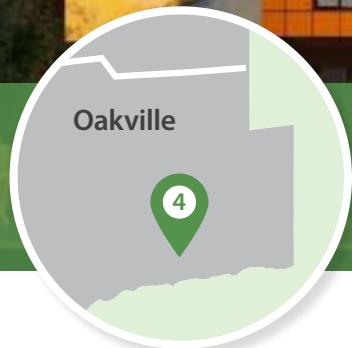
Funding status

- Regional funding: \$1.3M pre-development
- Federal funding: \$75K
- Estimated cost: \$192M for both buildings



3RD PARTY SHOVEL-READY DEVELOPMENT OPPORTUNITY

Helping to reach housing targets by bringing opportunity for new assisted rental units in the Halton community.



Cornwall Road (Support House)

130 Cornwall Road, Oakville



Building Summary

- 37 one bedroom units for adults
- Common area and program spaces, fully accessible one bedroom units
- On site supports 7 days a week to assist adults moving from transitional to permanent housing

Shovel-ready

- ✓ Zoned
- ✓ Serviced

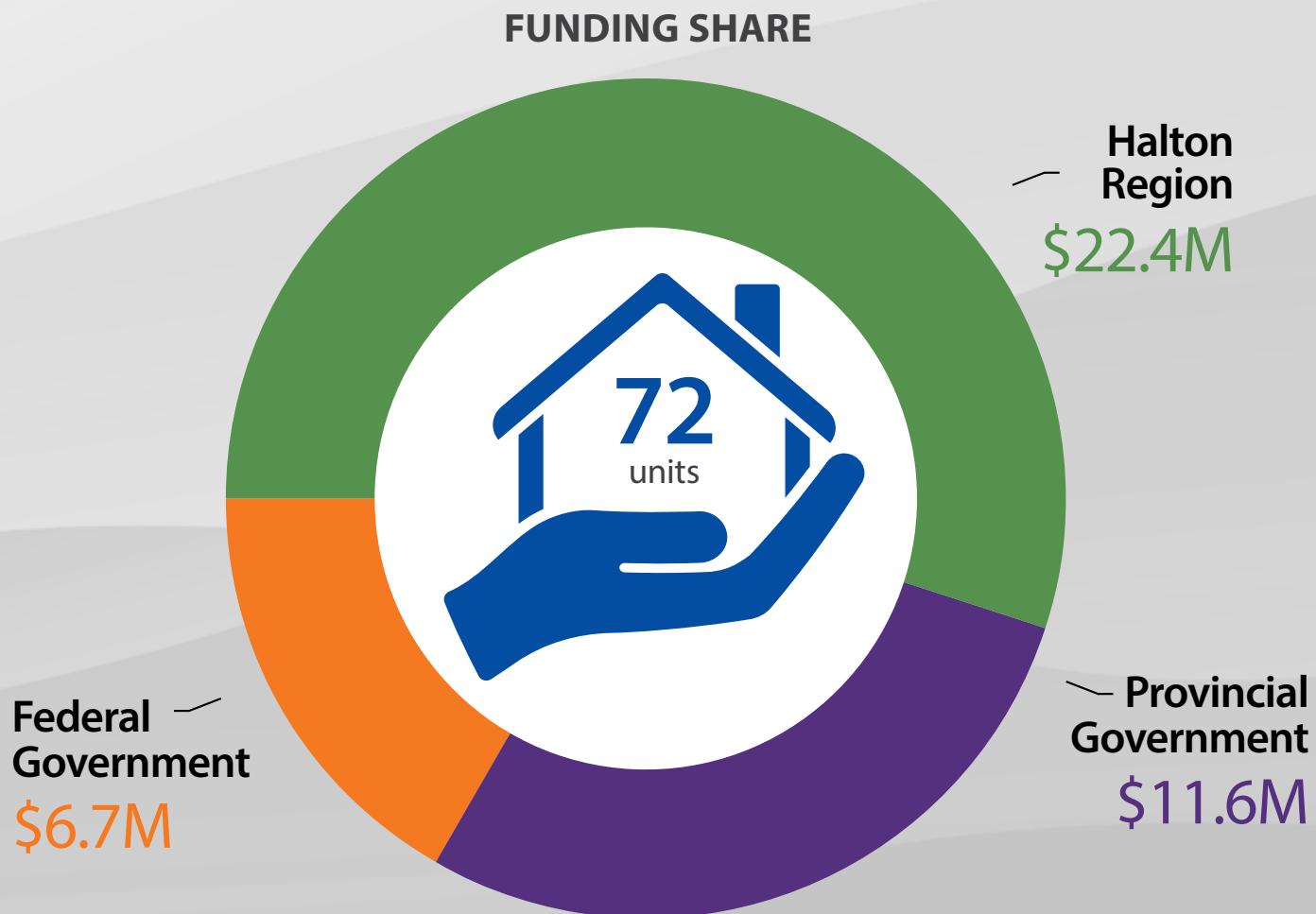
Funding status

- Federal Reaching Home Funding: \$510K pre-development
- Canada Mortgage and Housing Corporation: \$134K
- Estimated cost: \$27.8M



Regional & 3rd Party Projects In Progress

Making progress to bring more assisted rental opportunities to the Halton community.



*Post Bill 23 development charges are no longer eligible to fund social housing.

REGIONAL DEVELOPMENT IN PROGRESS

Making progress on assisted rental housing development in the Halton community.



Rebecca Street

1258 Rebecca Street, Oakville

Building Summary

- 14 one bedroom units for seniors
- Supportive housing for homeless seniors with mobility challenges

Design Features

- Net Zero Ready
- All units are barrier-free
- Pre-fabricated walls and other building components

Construction Status

- ✓ Anticipated completion: Winter 2026

Funding Status

- Regional funding: \$2.1M (excludes land)
- Federal & Provincial funding
 - Canada-Ontario Community Housing Initiative funding: \$4.4M
 - Ontario Priorities Housing Initiative funding: \$1.6M
 - Canada Mortgage and Housing Seed funding: \$43K
 - CMHC Affordable Housing Fund: \$2.6M



REGIONAL DEVELOPMENT IN PROGRESS

Making progress on assisted rental housing development in the Halton community.



Margaret Drive

363 Margaret Drive, Oakville



Building Summary

- 13 units for individuals and families
 - 5 three bedroom units
 - 5 four bedroom units
 - 3 five bedroom units
- ~1,150 square feet of community programming space

Design Features

- 3 fully accessible units
- Enbridge Savings by Design
 - Additional insulation in walls and attic
 - Low flow plumbing fixtures
 - Corridor pressurization
 - No gas usage – all energy efficient electric (heat pumps etc.)
 - Lower Window to Wall ratio



Shovel-ready

- ✓ Zoned
- ✓ Serviced
- ✓ Site Plan Approved
- ✓ Contractors Pre-qualification issued to Market

Funding status

- Regional funding: \$5.7M
- Federal & Provincial funding
 - Canada-Ontario Community Housing Initiative funding: \$4M
 - Ontario Priorities Housing Initiative funding: \$1.6M

3RD PARTY DEVELOPMENT IN PROGRESS

Making progress with our partners on assisted rental housing development in the Halton community.

Supportive Housing



Halton
Hills

Maria Street (Support House)

47 Maria Street, Halton Hills

Building Summary

- 12 one bedroom units for individuals with mental health and addiction challenges
- Supportive housing for individuals experiencing homelessness

Construction Status

- ✓ Anticipated completion: Spring 2026

Funding

- Regional funding: \$3.9M
- Federal Reaching Home funding: \$2M



3RD PARTY DEVELOPMENT IN PROGRESS

Making progress with our partners on assisted rental housing development in the Halton community.

For seniors

Halton
Hills



Guelph Street (Homestarts Non-Profit Housing Corporation)

17 Guelph Street, Halton Hills

Building Summary

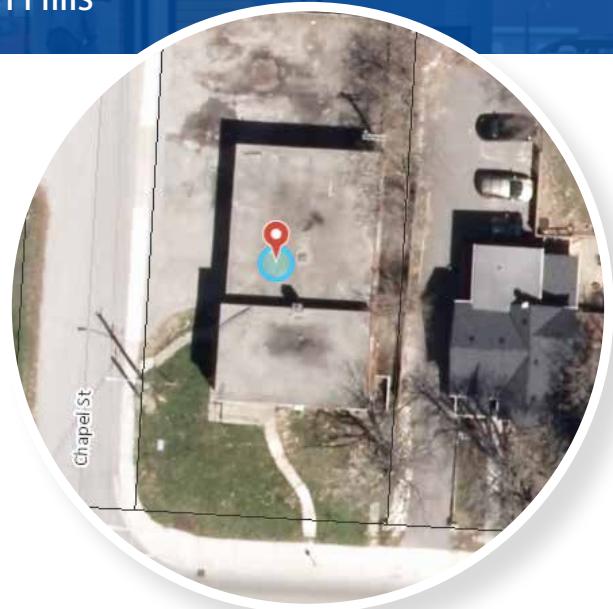
- 12 units
 - 7 units for seniors
 - 5 units dedicated for women-led households receiving services from Home Suite Hope
- 1, 2 & 3 bedrooms

Construction Status

- ✓ Construction starting: Summer 2025
- ✓ Anticipated completion: Spring 2027

Funding status

- Regional funding: \$3.8M



REGIONAL ACQUISITIONS IN PROGRESS

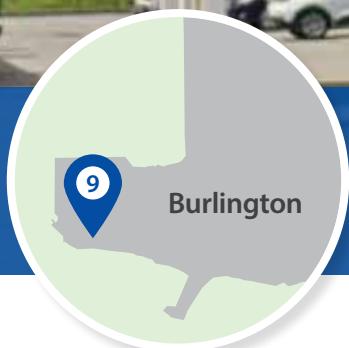
Making progress on preserving property and units to support more assisted rental opportunities in the Halton community.

Supportive Housing

Plains Road West

1400 Plains Road West, Burlington

Image © 2025 Google, Street View



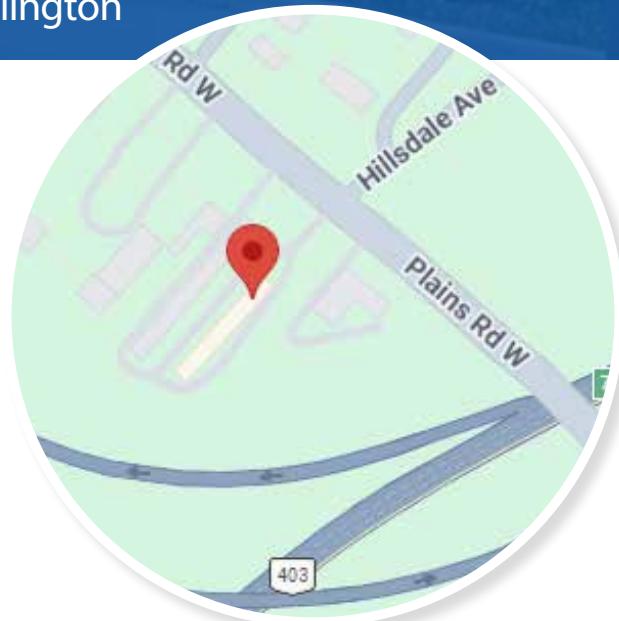
Building Summary:

- 21 studio units for individuals
- 24/7 Supportive Housing
- Owned by Halton Region and operated by Indwell Community Homes

Anticipated completion: Spring 2026

Funding

- Regional funding: \$6.8M
- Federal funding: \$2M



Completed Projects

In 2021, Halton Region adopted a multi-year assisted housing portfolio plan aligned with the Region's Comprehensive Housing Strategy to support the creation of new assisted housing opportunities and address community need. Since 2021, in collaboration with our partners, we have been successfully delivering new Regional and 3rd party developments and acquiring existing buildings to preserve government-assisted housing units.



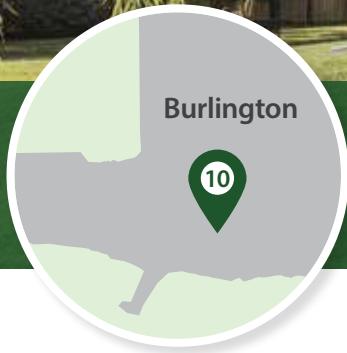
125
Assisted

150
Supportive

53
Emergency
Supportive

REGIONAL DEVELOPMENT COMPLETED

Successfully delivering more assisted and supportive housing opportunities to the Halton community.



Burlington
10

Emergency Supportive Housing

Queensway Drive – Modular Units

2404 Queensway Drive, Burlington

Building Summary

- 2 two bedroom units
- Emergency Supportive Housing

Design Features

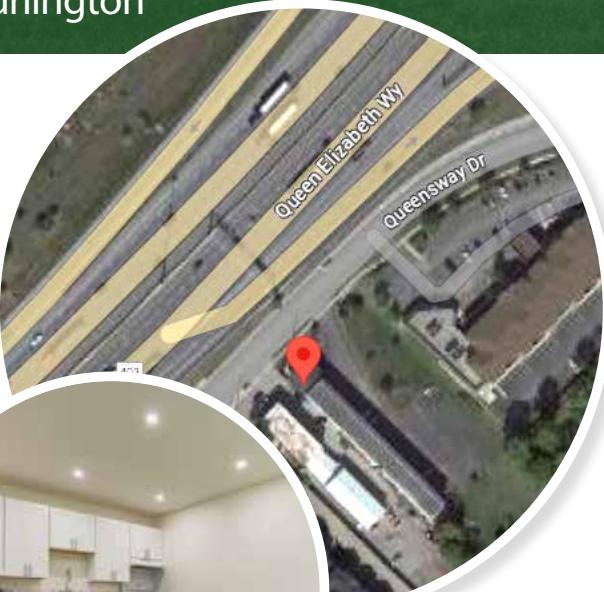
- Modular Construction
- Energy Efficient Features
- Fully Accessible Units

Construction Status

- ✓ Completed: October 2025

Funding Status

- Provincial Encampment Response Initiative
Funding: \$503K



REGIONAL DEVELOPMENT COMPLETED

Successfully delivering more assisted and supportive housing opportunities to the Halton community.

265 KERR

For seniors

Oakville



Kerr Street

265 Kerr Street, Oakville
(Formerly 263 Kerr Street)

Building Summary

- 52 units for seniors
 - 30 one bedroom units
 - 22 Studios for homeless seniors with chronic health and mobility needs
- Ground floor Community Wellness Hub

Design Features

- Passive House Certified multi-residential building

Construction Status

- ✓ Completed: June 2025

Funding

- Regional funding: \$13.0M (excludes land)
- Federal & Provincial funding
 - Canada-Ontario Community Housing Initiative funding: \$11.9M
 - Canada-Ontario Community Housing Initiative Last Mile funding: \$3M
 - Canada Mortgage and Housing Corporation Rapid Housing Initiative funding: \$9.3M
 - Canada Mortgage and Housing Corporation Seed funding: \$43K



3RD PARTY DEVELOPMENT COMPLETED

Successfully delivering more assisted and supportive housing opportunities to the Halton community.



Old Bronte Road (One Urban Developments)

2475 Old Bronte Road, Oakville

Building Summary

- 131 total units
- 25 assisted units (Halton Region funded)
- 106 market units

Funding

- Regional funding (for 25 designated assisted rental units): \$6.25M



REGIONAL ACQUISITIONS COMPLETED

Preserving property and units to support more assisted rental opportunities in the Halton community.



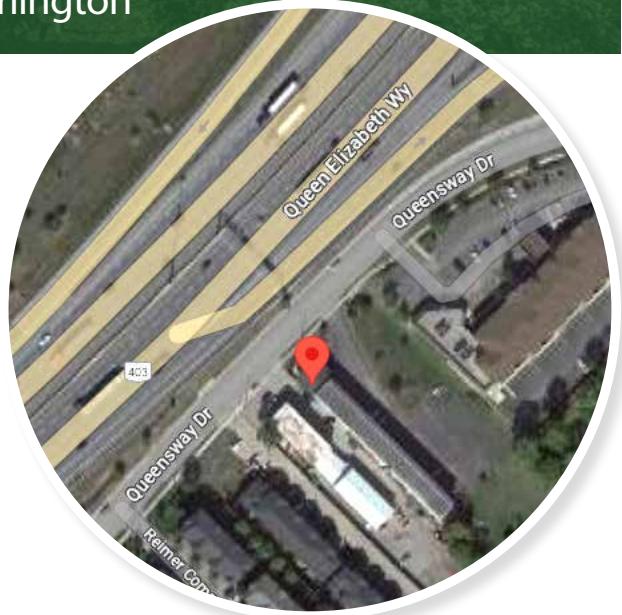
Building Summary:

- 49 units with on-site supports
- Owned by Halton Region and operated by Wesley Urban Ministries

Halton ownership assumed: March 26, 2021

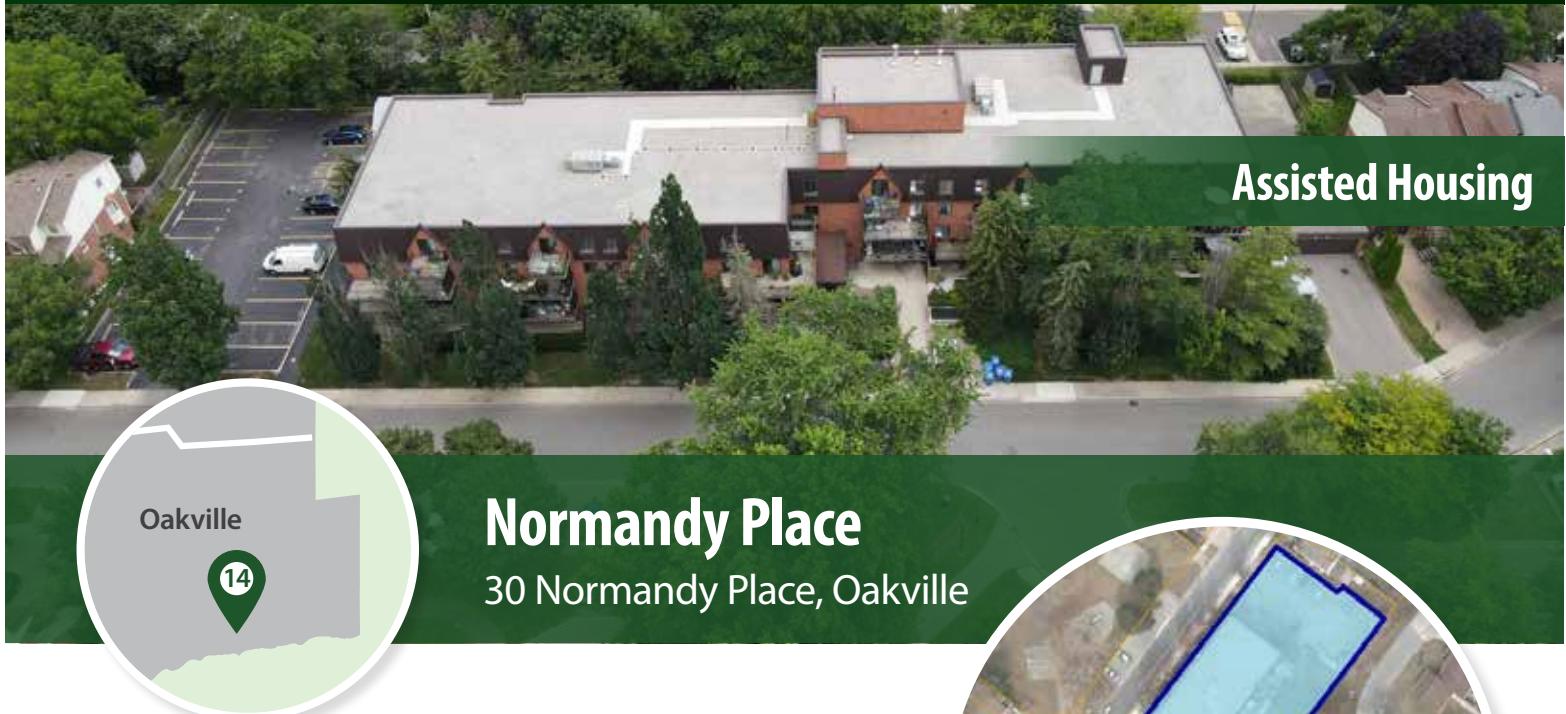
Funding

- Rapid Housing Initiative: \$5.6M
- Reaching Home funding: \$1.8M
- Social Services Relief Fund - Phase 2: \$2M
- Social Services Relief Fund - Phase 3: \$3.2M



REGIONAL ACQUISITIONS COMPLETED

Preserving property and units to support more assisted rental opportunities in the Halton community.



Normandy Place

30 Normandy Place, Oakville

Building Summary:

- 70 units
 - 36 one bedroom units
 - 19 two bedroom units
 - 15 three bedroom units
- Owned by Halton Region and operated by Halton Community Housing Corporation

Halton ownership assumed: September 22, 2023

Funding

- Regional funding: \$19M

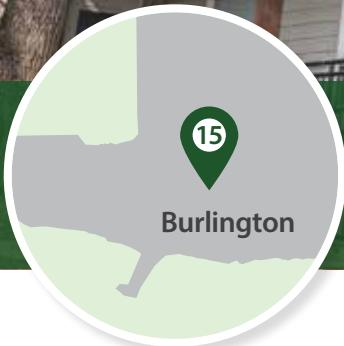


REGIONAL ACQUISITIONS COMPLETED

Preserving property and units to support more assisted rental opportunities in the Halton community.



Emergency Supportive Housing



Bethany Residence
2387 Industrial Street, Burlington

Building Summary:

- 128 beds/units
- 24/7 supportive housing
- Owned by Halton Region and operated by AbleLiving Services

Halton ownership assumed: June 24, 2024

Funding

- Regional funding: \$5.3M
- Reaching Home funding: \$4M



QUICK REFERENCE

Type	Page #	Project	Number of Units
Shovel-Ready Development Opportunities			
Regional Shovel-Ready	2	Maurice Drive	32
	3	Allendale Building 1	200
	4	Allendale Buildings 2&3	266
3 rd Party Shovel-Ready	5	Cornwall Road	37
In Progress Projects			
Regional Developments	7	Rebecca Street	14
	8	Margaret Drive	13
3 rd Party Developments	9	Maria Street	12
	10	Guelph Street	12
Regional Acquisitions	11	Plains Road West	21
Completed Projects			
Regional Development Completed	13	Queensway Drive - Modular Units	4
	14	Kerr Street	52
3 rd Party Development Completed	15	Old Bronte Road	25 (+106 market)
Regional Acquisitions Completed (since 2021*)	16	Queensway Drive	49
	17	Normandy Place	70
	18	Bethany Residence	128
		TOTAL # OF UNITS	935

*In 2021, Halton Region adopted a multi-year assisted housing portfolio plan



Designs and project details are subject to change. Project renderings and images may be for conceptual or pre-development purposes only.

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