

HALTON REGION'S PORTFOLIO OF

# Assisted Rental Housing Development Opportunities

Shovel-Ready and In Progress Projects

QUARTERLY UPDATE – WINTER 2026



# Portfolio of Shovel-Ready and In Progress Projects

Halton Region is helping to reach housing targets by bringing more assisted rental units to our community.

There is opportunity to partner with us to get **shovel-ready properties** built as fast as possible and deliver more units in the future.



Projects continue to move from shovel-ready to in progress as funding is secured.



**498**

Assisted

**37**

Supportive

Halton Region has a long and effective history of responding to needs and delivering housing opportunities in our community. Funded by the Region and through strategic partnerships with the Development community, we have **5 projects in progress** that provide various assisted and supportive housing units.

## REGIONAL & 3<sup>RD</sup> PARTY PROJECTS IN PROGRESS



**13**

Assisted

**59**

Supportive

Halton Region has recently successfully delivered **6 projects** that provide assisted and supportive housing units to our community through Regional developments, partnership on 3<sup>rd</sup> party developments, and strategic acquisitions.

## COMPLETED PROJECTS



**125**

Assisted

**150**

Supportive

**53**

Emergency Supportive

# Shovel-Ready Development Opportunities



## IN PROGRESS PROJECTS

### Regional Developments

- 5** Rebecca Street (14 units, total funding: \$10.8M)
- 6** Margaret Drive (13 units, total funding: 11.3M)

### 3<sup>rd</sup> Party Developments

- 7** Maria Street (12 units, total funding: \$5.9M)
- 8** Guelph Street (12 units, total funding: \$3.8M)

### Regional Acquisitions

- 9** Plains Road West (21 units, total funding: \$8.8M)

## COMPLETED PROJECTS

### Regional Developments

- 10** Queensway Drive - Modular Units (4 units, total funding: \$503K)
- 11** Kerr Street (52 units, total funding: \$37.3M)

### 3<sup>rd</sup> Party Developments

- 12** Old Bronte Road (25 units, total funding: \$6.3M)

### Regional Acquisitions

- 13** Queensway Drive (49 units, total funding: \$12.6M)
- 14** Normandy Place (70 units, total funding: \$19M)
- 15** Bethany Residence (128 beds, total funding: \$9.3M)

# REGIONAL SHOVEL-READY DEVELOPMENT OPPORTUNITY

*Helping to reach housing targets by bringing opportunity for new assisted rental units in the Halton community.*

For families

Oakville

1

## Maurice Drive

284-314 Maurice Drive, Oakville

### Building Summary

- 32 units for individuals and families
  - 11 one bedroom units
  - 5 two bedroom units
  - 5 three bedroom units
  - 11 four bedroom units
- Design includes ADUs (additional dwelling units)

### Design Features

- Zero Carbon Building Design
- Townhouses

### Shovel-ready

- ✓ Zoned
- ✓ Serviced

### Funding status

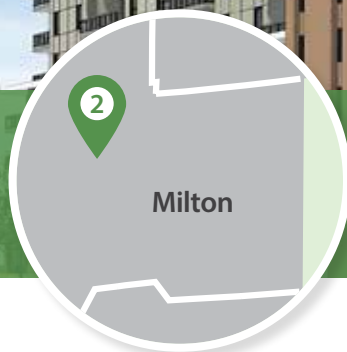
- Regional Funding: \$2.5M pre-development
- Estimated cost: \$24M



# REGIONAL SHOVEL-READY DEVELOPMENT OPPORTUNITY

*Helping to reach housing targets by bringing opportunity for new assisted rental units in the Halton community.*

For seniors



## Ontario Street (Allendale)

Building 1, Milton



### Building Summary

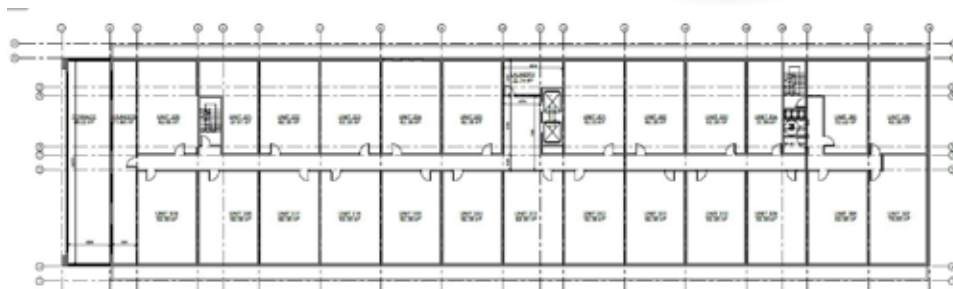
- 200 units for seniors
  - 44 Studios
  - 156 one bedroom units
- Potential for ground floor Community Wellness Hub

### Design Features

- Passive House Designed multi-residential building

### Shovel-ready

- ✓ Zoned
- ✓ Serviced



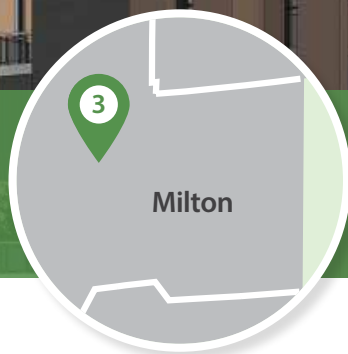
### Funding status

- Regional funding: \$1.2M pre-development
- Federal funding: \$75K
- Estimated cost: \$150M

# REGIONAL SHOVEL-READY DEVELOPMENT OPPORTUNITY

Helping to reach housing targets by bringing opportunity for new assisted rental units in the Halton community.

For seniors



## Ontario Street (Allendale)

Buildings 2 & 3, Milton

### Building Summary

- 266 one bedroom units for seniors
- Potential for ground floor Community Wellness Hub

### Design Features

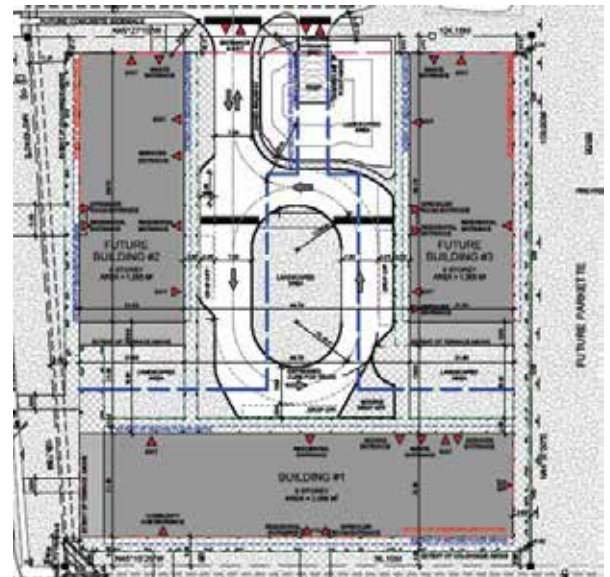
- Passive House Designed multi-residential building

### Shovel-ready

- ✓ Zoned
- ✓ Serviced

### Funding status

- Regional funding: \$1.3M pre-development
- Federal funding: \$75K
- Estimated cost: \$192M for both buildings

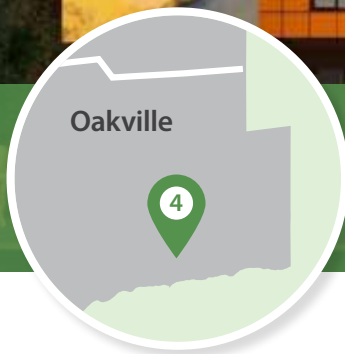




# 3<sup>RD</sup> PARTY SHOVEL-READY DEVELOPMENT OPPORTUNITY

*Helping to reach housing targets by bringing opportunity for new assisted rental units in the Halton community.*

For adults



## Cornwall Road (Support House)

130 Cornwall Road, Oakville

### Building Summary

- 37 one bedroom units for adults
- Common area and program spaces, fully accessible one bedroom units
- On site supports 7 days a week to assist adults moving from transitional to permanent housing

### Shovel-ready

- ✓ Zoned
- ✓ Serviced

### Funding status

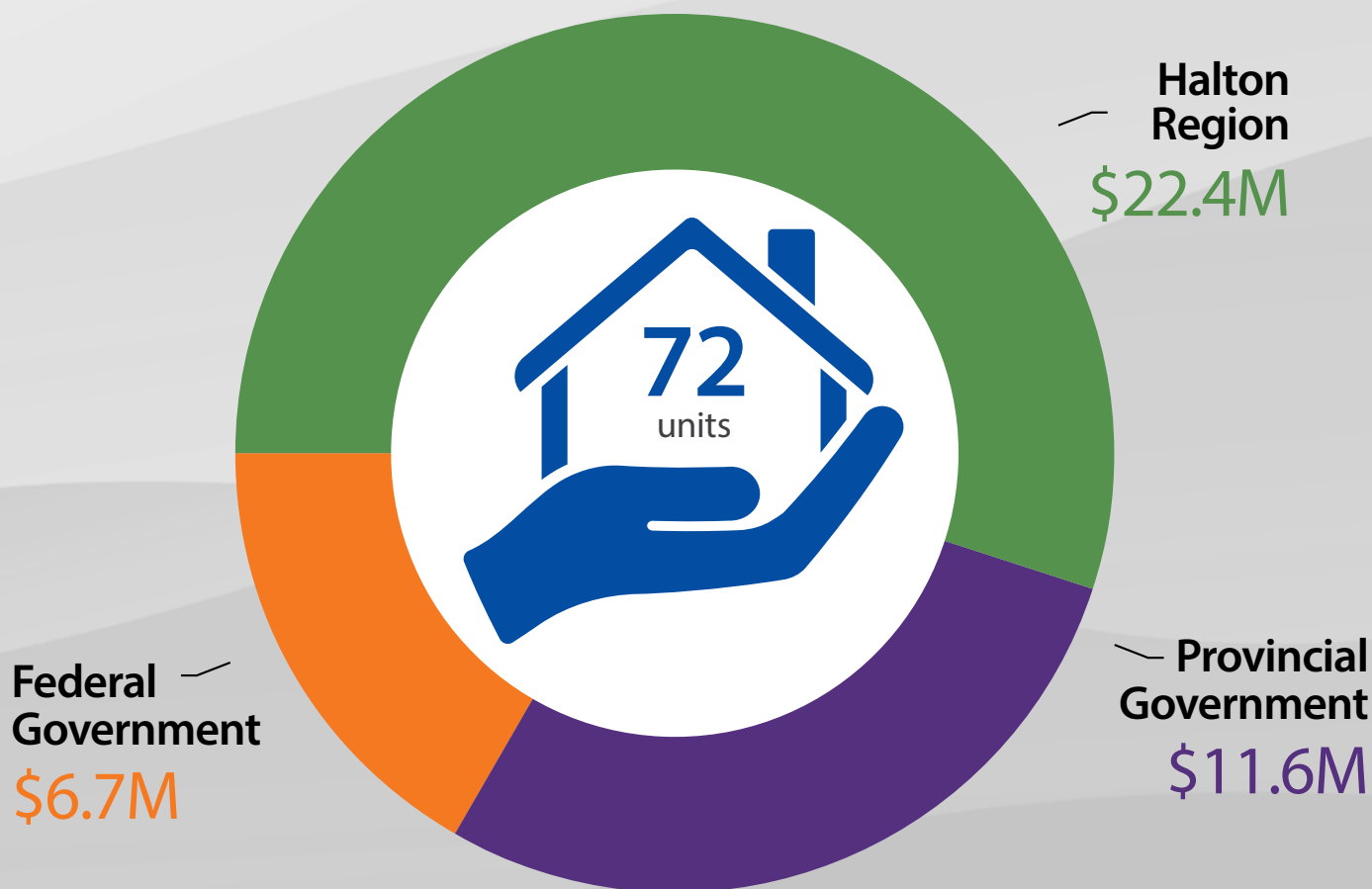
- Federal Reaching Home Funding: \$510K pre-development
- Canada Mortgage and Housing Corporation: \$134K
- Estimated cost: \$27.8M



# Regional & 3<sup>rd</sup> Party Projects In Progress

*Making progress to bring more assisted rental opportunities to the Halton community.*

## FUNDING SHARE



**Total investment:** \$40.7M (does not include 3<sup>rd</sup> party)

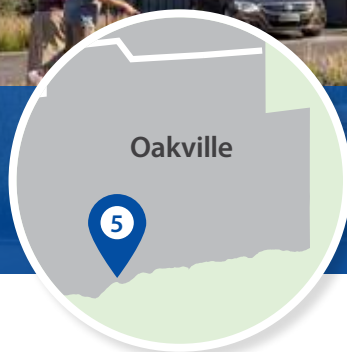
\*Post Bill 23 development charges are no longer eligible to fund social housing.



# REGIONAL DEVELOPMENT IN PROGRESS

*Making progress on assisted rental housing development in the Halton community.*

**For seniors**



## Rebecca Street

1258 Rebecca Street, Oakville

### Building Summary

- 14 one bedroom units for seniors
- Supportive housing for homeless seniors with mobility challenges

### Design Features

- Net Zero Ready
- All units are barrier-free
- Pre-fabricated walls and other building components

### Construction Status

- ✓ Anticipated completion: Winter 2026

### Funding Status

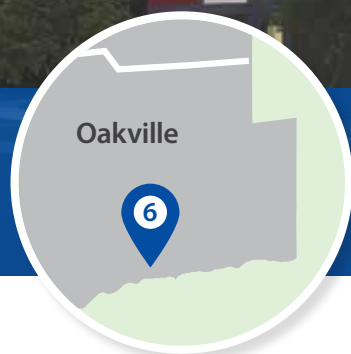
- Regional funding: \$2.1M (excludes land)
- Federal & Provincial funding
  - Canada-Ontario Community Housing Initiative funding: \$4.4M
  - Ontario Priorities Housing Initiative funding: \$1.6M
  - Canada Mortgage and Housing Seed funding: \$43K
  - CMHC Affordable Housing Fund: \$2.6M



# REGIONAL DEVELOPMENT IN PROGRESS

*Making progress on assisted rental housing development in the Halton community.*

**For families**



## Margaret Drive

363 Margaret Drive, Oakville



### Building Summary

- 13 units for individuals and families
  - 5 three bedroom units
  - 5 four bedroom units
  - 3 five bedroom units
- ~1,150 square feet of community programming space

### Design Features

- 3 fully accessible units
- Enbridge Savings by Design
  - Additional insulation in walls and attic
  - Low flow plumbing fixtures
  - Corridor pressurization
  - No gas usage – all energy efficient electric (heat pumps etc.)
  - Lower Window to Wall ratio



### Shovel-ready

- ✓ Zoned
- ✓ Serviced
- ✓ Site Plan Approved
- ✓ Contractors Pre-qualification issued to Market

### Funding status

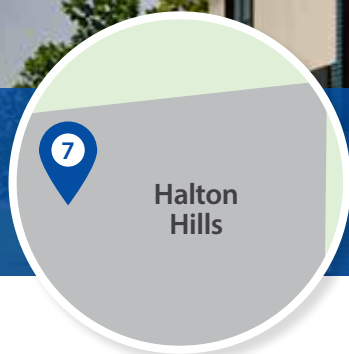
- Regional funding: \$5.7M
- Federal & Provincial funding
  - Canada-Ontario Community Housing Initiative funding: \$4M
  - Ontario Priorities Housing Initiative funding: \$1.6M



# 3<sup>RD</sup> PARTY DEVELOPMENT IN PROGRESS

*Making progress with our partners on assisted rental housing development in the Halton community.*

## Supportive Housing



### Maria Street (Support House)

47 Maria Street, Halton Hills

#### Building Summary

- 12 one bedroom units for individuals with mental health and addiction challenges
- Supportive housing for individuals experiencing homelessness

#### Construction Status

- ✓ Anticipated completion: Spring 2026

#### Funding

- Regional funding: \$3.9M
- Federal Reaching Home funding: \$2M





# 3<sup>RD</sup> PARTY DEVELOPMENT IN PROGRESS

*Making progress with our partners on assisted rental housing development in the Halton community.*

For seniors

Halton  
Hills

8

## Guelph Street (Homestarts Non-Profit Housing Corporation)

17 Guelph Street, Halton Hills

### Building Summary

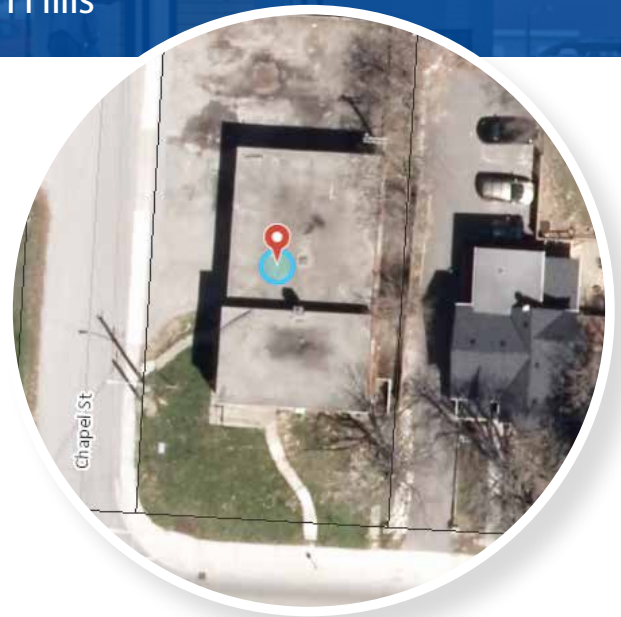
- 12 units
  - 7 units for seniors
  - 5 units dedicated for women-led households receiving services from Home Suite Hope
- 1, 2 & 3 bedrooms

### Construction Status

- ✓ Construction starting: Summer 2025
- ✓ Anticipated completion: Spring 2027

### Funding status

- Regional funding: \$3.8M

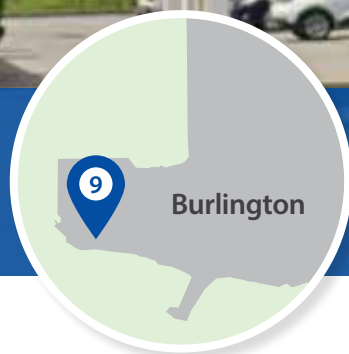


# REGIONAL ACQUISITIONS IN PROGRESS

*Making progress on preserving property and units to support more assisted rental opportunities in the Halton community.*



## Supportive Housing



### Plains Road West

1400 Plains Road West, Burlington

Image © 2025 Google, Street View

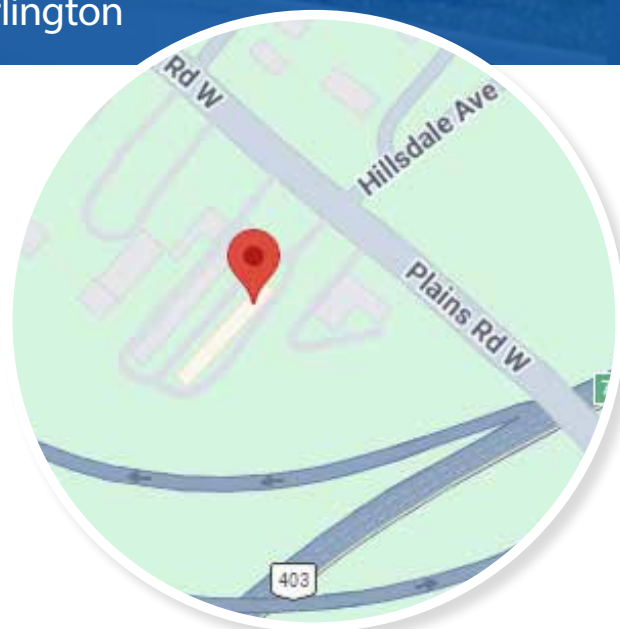
#### Building Summary:

- 21 studio units for individuals
- 24/7 Supportive Housing
- Owned by Halton Region and operated by Indwell Community Homes

**Anticipated completion:** Spring 2026

#### Funding

- Regional funding: \$6.8M
- Federal funding: \$2M



# Completed Projects

*In 2021, Halton Region adopted a multi-year assisted housing portfolio plan aligned with the Region's Comprehensive Housing Strategy to support the creation of new assisted housing opportunities and address community need. Since 2021, in collaboration with our partners, we have been successfully delivering new Regional and 3<sup>rd</sup> party developments and acquiring existing buildings to preserve government-assisted housing units.*



**125**  
Assisted

**150**  
Supportive

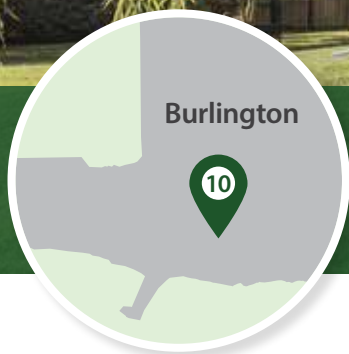
**53**  
Emergency  
Supportive



# REGIONAL DEVELOPMENT COMPLETED

*Successfully delivering more assisted and supportive housing opportunities to the Halton community.*

## Emergency Supportive Housing



## Queensway Drive – Modular Units

2404 Queensway Drive, Burlington

### Building Summary

- 2 two bedroom units
- Emergency Supportive Housing

### Design Features

- Modular Construction
- Energy Efficient Features
- Fully Accessible Units

### Construction Status

- ✓ Completed: October 2025

### Funding Status

- Provincial Encampment Reponse Initiative  
Funding: \$503K



# REGIONAL DEVELOPMENT COMPLETED

*Successfully delivering more assisted and supportive housing opportunities to the Halton community.*

For seniors

Oakville

11

## Kerr Street

265 Kerr Street, Oakville  
(Formerly 263 Kerr Street)

### Building Summary

- 52 units for seniors
  - 30 one bedroom units
  - 22 Studios for homeless seniors with chronic health and mobility needs
- Ground floor Community Wellness Hub

### Design Features

- Passive House Certified multi-residential building

### Construction Status

- ✓ Completed: June 2025

### Funding

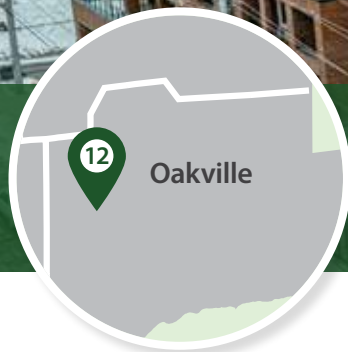
- Regional funding: \$13.0M (excludes land)
- Federal & Provincial funding
  - Canada-Ontario Community Housing Initiative funding: \$11.9M
  - Canada-Ontario Community Housing Initiative Last Mile funding: \$3M
  - Canada Mortgage and Housing Corporation Rapid Housing Initiative funding: \$9.3M
  - Canada Mortgage and Housing Corporation Seed funding: \$43K



# 3<sup>RD</sup> PARTY DEVELOPMENT COMPLETED

*Successfully delivering more assisted and supportive housing opportunities to the Halton community.*

## Assisted Housing



## Old Bronte Road (One Urban Developments)

2475 Old Bronte Road, Oakville

### Building Summary

- 131 total units
- 25 assisted units (Halton Region funded)
- 106 market units

### Funding

- Regional funding (for 25 designated assisted rental units): \$6.25M



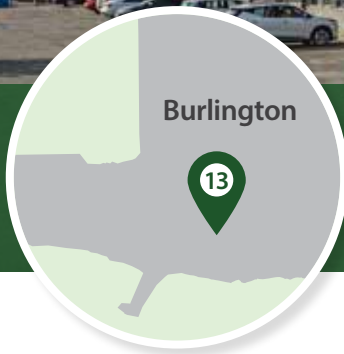


# REGIONAL ACQUISITIONS COMPLETED

*Preserving property and units to support more assisted rental opportunities in the Halton community.*



## Supportive Housing



### Queensway Drive

2404 Queensway Drive, Burlington

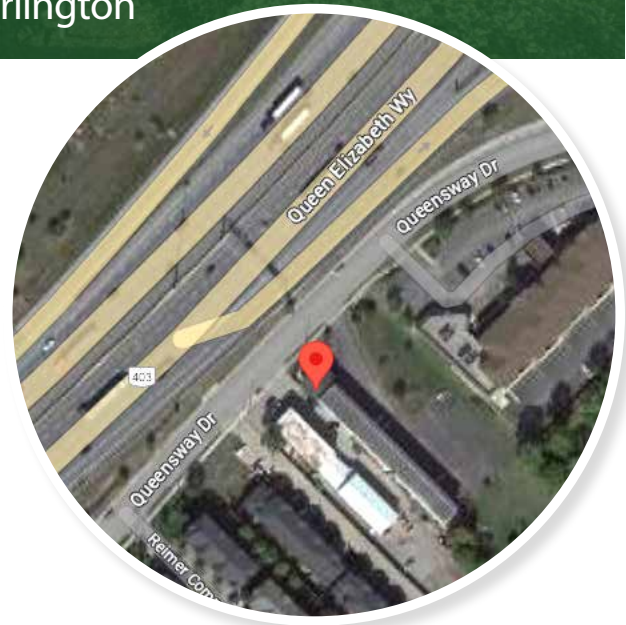
#### Building Summary:

- 49 units with on-site supports
- Owned by Halton Region and operated by Wesley Urban Ministries

**Halton ownership assumed:** March 26, 2021

#### Funding

- Rapid Housing Initiative: \$5.6M
- Reaching Home funding: \$1.8M
- Social Services Relief Fund - Phase 2: \$2M
- Social Services Relief Fund - Phase 3: \$3.2M



# REGIONAL ACQUISITIONS COMPLETED

*Preserving property and units to support more assisted rental opportunities in the Halton community.*

## Assisted Housing

Oakville

14

### Normandy Place

30 Normandy Place, Oakville

#### Building Summary:

- 70 units
  - 36 one bedroom units
  - 19 two bedroom units
  - 15 three bedroom units
- Owned by Halton Region and operated by Halton Community Housing Corporation

**Halton ownership assumed:** September 22, 2023

#### Funding

- Regional funding: \$19M



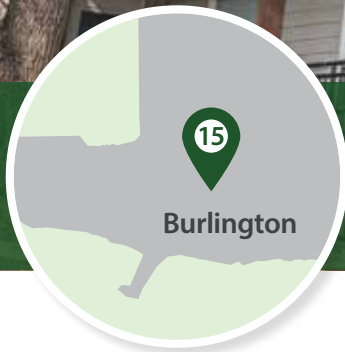


# REGIONAL ACQUISITIONS COMPLETED

*Preserving property and units to support more assisted rental opportunities in the Halton community.*



## Emergency Supportive Housing



## Bethany Residence

2387 Industrial Street, Burlington

### Building Summary:

- 128 beds/units
- 24/7 supportive housing
- Owned by Halton Region and operated by AbleLiving Services

**Halton ownership assumed:** June 24, 2024

### Funding

- Regional funding: \$5.3M
- Reaching Home funding: \$4M





# QUICK REFERENCE

Type	Page #	Project	Number of Units
<b>Shovel-Ready Development Opportunities</b>			
Regional Shovel-Ready	2	Maurice Drive	32
	3	Allendale Building 1	200
	4	Allendale Buildings 2&3	266
3 <sup>rd</sup> Party Shovel-Ready	5	Cornwall Road	37
<b>In Progress Projects</b>			
Regional Developments	7	Rebecca Street	14
	8	Margaret Drive	13
3 <sup>rd</sup> Party Developments	9	Maria Street	12
	10	Guelph Street	12
Regional Acquisitions	11	Plains Road West	21
<b>Completed Projects</b>			
Regional Development Completed	13	Queensway Drive - Modular Units	4
	14	Kerr Street	52
3 <sup>rd</sup> Party Development Completed	15	Old Bronte Road	25 (+106 market)
Regional Acquisitions Completed (since 2021*)	16	Queensway Drive	49
	17	Normandy Place	70
	18	Bethany Residence	128
<b>TOTAL # OF UNITS</b>			<b>935</b>

\*In 2021, Halton Region adopted a multi-year assisted housing portfolio plan

